

**KEY COTTAGES STAGE 1 ENTRY PARK PAVING SCHEDULE**

Item:	description (refer specification for details):
code	P3.1a
description	Granite
colour	Raven
finish	Exfoliated finish to match approved sample
size / depth	600 x 300 x 20mm thickness
substrate	concrete slab
jointing pattern	3mm linear grouting (colour to match paving)
supplier	as shown
supplier	Eco Concepts 1300 13 14 13 http://www.ecoconcepts.com.au
code	P3.1b
description	Granite
colour	Raven
finish	Exfoliated finish to match approved sample
size / depth	150 x 250-900 lengths x 20mm thickness
substrate	concrete slab
jointing pattern	3mm linear grouting (colour to match paving)
supplier	as shown
supplier	Eco Concepts 1300 13 14 13 http://www.ecoconcepts.com.au
code	P5.4
description	coloured insitu concrete
colour	Charcoal Abalox Black CAF - X2 1.7% by weight
finish	steel trowel smooth finish to match approved sample
size / depth	80mm thickness
substrate	FCR
jointing	sawcut as shown on drawings

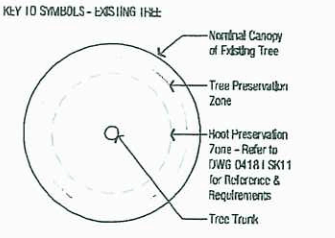
**LEGEND**

	Segmented Stone Paving (refer L04 & paving schedule)	L001 0418
	Charcoal Coloured Insitu Concrete (refer paving schedule)	L002 0418
	Garden Bed with black Organic Mulch (as specified)	L003 0418
	Black Organic Mulch below existing trees (as specified)	L004 0418
	Steel Edge (as specified)	L005 0418
	Existing Lawn (oppressed and oversized, refer spec.)	L006 0418
	Pine Needle Mulch (as specified)	L007 0418
	Expansion Joint (as specified)	L008 0418
	Sawcut Joint (as specified)	L009 0418
	Proposed Landscape Level	L010 0418
	Paving Flush Across Joint	L011 0418
	Align Paving	L012 0418
	Extent of Works	L013 0418
	Proposed tree (as specified)	L014 0418
	Real (as specified)	L015 0418
	Expansion Joint (as specified)	L016 0418
	Sawcut Joint (as specified)	L017 0418
	Proposed contours	L018 0418
	Existing contours	L019 0418

**PLANNING and ENVIRONMENT ACT 1987**  
**BOROONDARA PLANNING SCHEME**  
 PERMIT No. **20060395-Cond. 3**  
**ENDORSED PLAN**  
 Sheet **1** of **4**  
 Signed *[Signature]* for  
**MINISTER FOR PLANNING**  
 Date **7/1/08**

**SERVICES NOTES:**

- THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. ACTUAL SITE CONDITIONS MAY VARY.
- THE EXACT POSITIONS OF SERVICES SHOULD BE ESTABLISHED ON SITE PRIOR TO ANY WORKS COMMENCING.
- NO GUARANTEE CAN BE GIVEN THAT ALL EXISTING SERVICES ARE SHOWN ON THIS PLAN. CONTRACTOR SHOULD REFER TO ENGINEERING DRAWINGS AND/OR CONTACT RELEVANT AUTHORITIES FOR MORE DETAILED INFORMATION REGARDING EXACT SERVICE LOCATION AND BOUNDARY OFFSETS.
- ALL SETOUTS SHALL BE CHECKED AND APPROVED ON SITE BY THE SUPERINTENDENT PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE SUPERINTENDENT, WHO SHALL ISSUE FURTHER INSTRUCTIONS.
- LOCATE ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION OR PAVING AND PROTECT SAME DURING CONSTRUCTION. RELOCATE TRITS TO 0.5M MINIMUM FROM STWMT LOCATION.
- ALL FOOTPATHS NOT TO EXCEED 1:40 CROSS-FALL.
- PLAN MUST BE READ IN CONJUNCTION WITH RELATED DETAILS, PLANTING, AND SPECIFICATION DOCUMENTATION.



**TREE PROTECTION NOTES:**

- UNLESS OTHERWISE SPECIFICALLY NOTED ON DRAWINGS, ALL EXISTING TREES ARE TO BE MAINTAINED AND PROTECTED.
- ALL TREES TO BE REMOVED ARE TO BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
- INFORMATION CONTAINED ON THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE TREE PROTECTION PLAN (0418/1 SK11) AND GALBRAITH & ASSOCIATES ARBORETRICAL MANAGEMENT PLAN.
- TEMPORARY TREE PROTECTION FENCING SHALL NOT BE RELOCATED WITHOUT APPROVAL IN WRITING BY THE LANDSCAPE ARCHITECT.
- IF ENCROACHMENT INTO THE RZ (RZ) (PRE-SHOWN PLAN) AS DEFINED BY THE TREE PROTECTION PLAN IS REQUIRED, ARBORIST HOJ GALBRAITH 0413 732 132 OR (03) 9888 5214 IS TO INSPECT THE WORKS AND PROVIDE WRITTEN APPROVAL.
- DRAINING WITH WATER OF THE RZ MUST OCCUR SOON AFTER ANY EXCAVATION HAS OCCURRED OR BE TO THE RZ IN ACCORDANCE WITH THE ARBORETRICAL MANAGEMENT PLAN.
- NOTHING WHATSOEVER SHALL BE ATTACHED TO ANY TREE INCLUDING TEMPORARY SERVICES, WIRES, NAILS, SCREWS OR ANY OTHER FOREIGN DEVICE.
- NO STORAGE (TEMPORARY OR PERMANENT) OF MATERIALS, CHEMICALS, FILL, EQUIPMENT OR TEMPORARY BUILDING SHALL TAKE PLACE OVER THE ROOT ZONE OF ANY TREE.
- WATER (APPROVED), ROOTS SHOULD BE CUT BY A ROOT PRUNER, SAW CUTTING OR WITH A SHARP AXE, BUT NOT EXCAVATION, AND NOT WITH A BACKHOE, ANY MACHINERY OR BLUNT INSTRUMENT.
- ALL TREE ROOTS ENCOUNTERED IN THE COURSE OF THE WORK SHALL BE CLEARLY CUT AND TREATED WITH ROOT HORMONE SOLUTION.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGE TO EXISTING TREES AND WILL BE REQUIRED TO PAY THE COST OF ANY REPAIR OR REPLACEMENT DEEMED NECESSARY.

**Stage 1 Entry Park Plant Schedule**

Code	Botanic Name	Common Name	Pot Size (mm)	Spacing (mm)	Inst.	Height (m)	Quantity
BRC	Brachycten acerifolius	Illawarra Flame Tree	n/a	as shown		3.5-4m	2
	Brachycten sp.	*NOTE: coordinate relocation of 1 No. transplanted Brachycten from site compound					1
<b>Ground Covers &amp; Grasses</b>							
GFF	Grewia thelemanniana subsp. Orbustifolia		200	500		n/a	400
MYP	Myoporum parvifolium	Creeping Doonbass	200	500		n/a	2080

**FOR CONSTRUCTION**

01 For Construction	14/08/07
BY: [Signature]	DATE

MDG Landscape And Garden  
 Level 2, 45 Victoria Avenue  
 Albert Park, Victoria 3206 Australia  
 T: (03) 9669 4297 F: (03) 9669 5294  
 E: mail@mdga.com.au

**WALKER CORPORATION**  
**KEW COTTAGES**

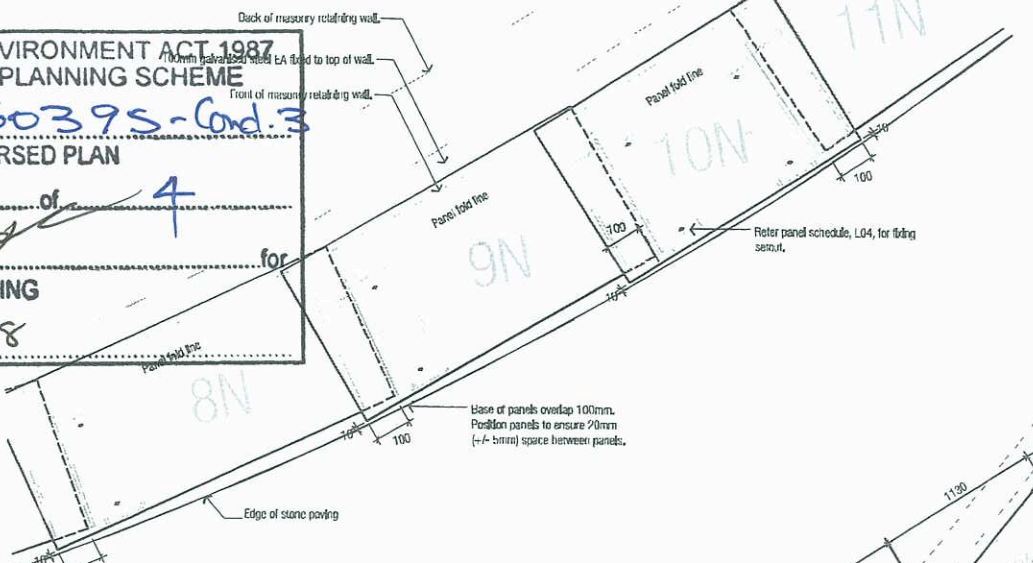
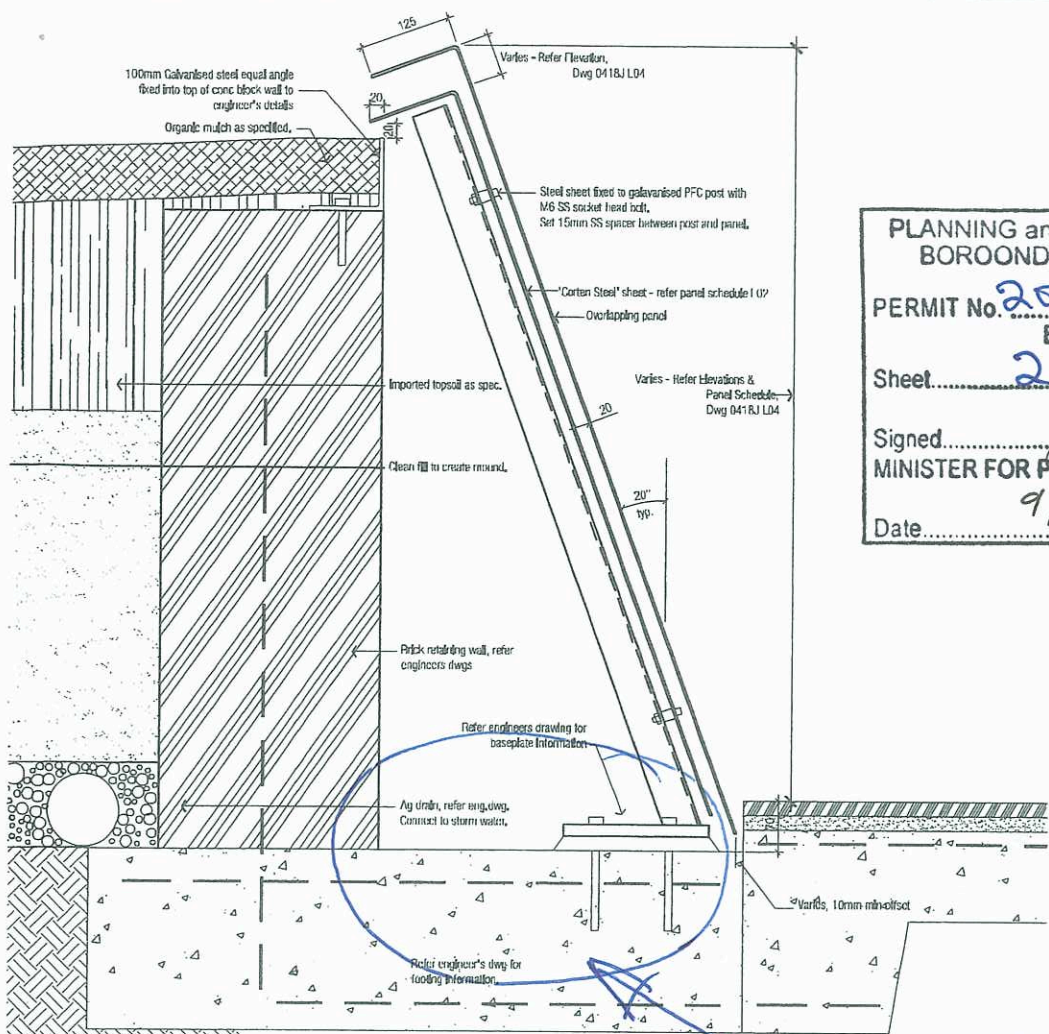
Project: Stage 1 Entry Park  
 Planting, Finishes, Levels & Setout Plan

DATE: October 2006	SCALE: 1:200
FILE NO: 0418J L01	DATE: 01

NOTES: DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DRAWINGS/SPECIFICATIONS. Structural Works dwgs. Job No. 33485-FPSW SK1, SK2 & SK3 and associated computations.



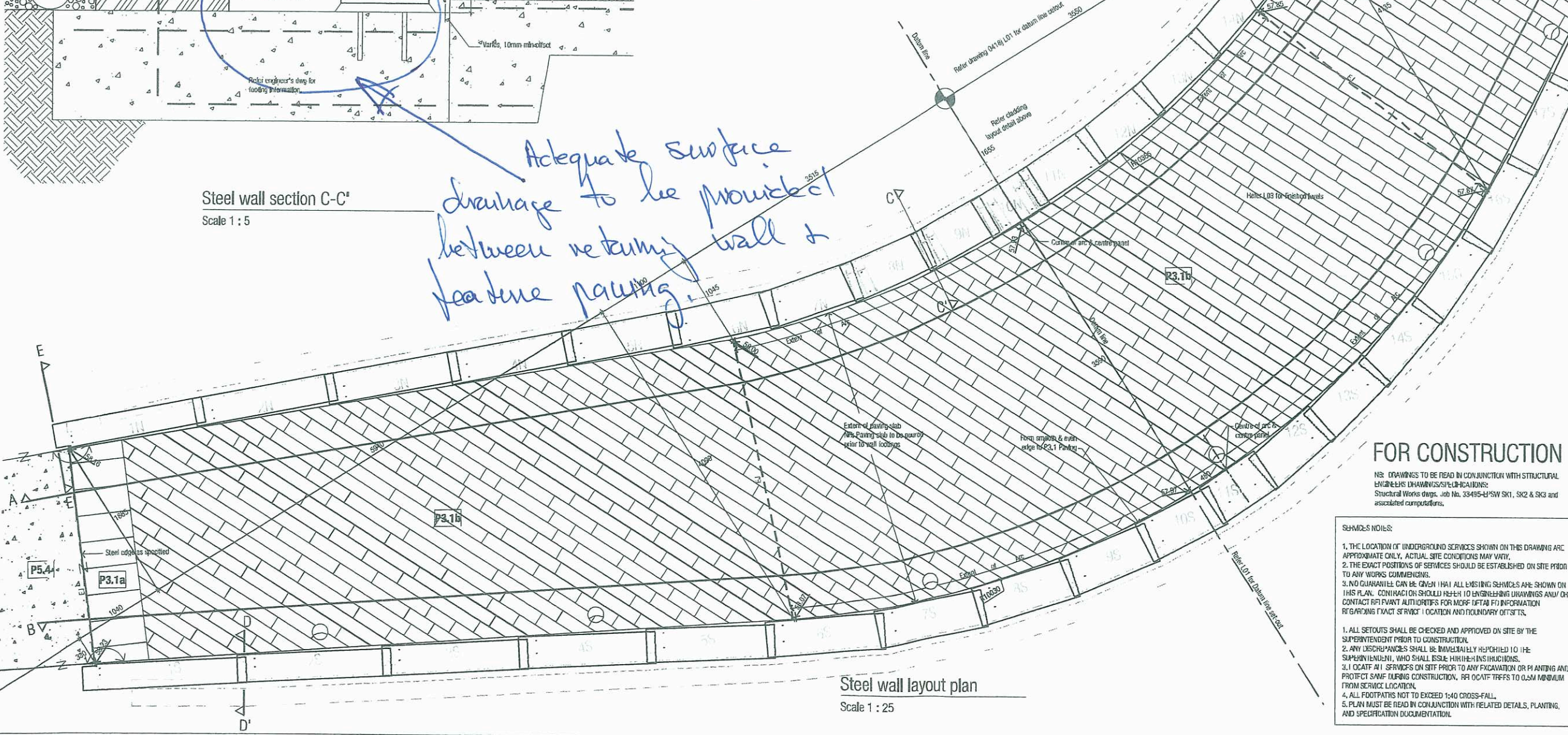
PLANNING and ENVIRONMENT ACT 1987  
 BOROONDARA PLANNING SCHEME  
 PERMIT No. **20060395-Cond.3**  
 ENDORSED PLAN  
 Sheet **2** of **4**  
 Signed..... for  
 MINISTER FOR PLANNING  
 Date **9/1/08**



Steel wall - Cladding layout detail plan  
 Scale 1 : 10

Steel wall section C-C  
 Scale 1 : 5

*Adequate surface drainage to be provided between retaining wall & feature paving.*



Steel wall layout plan  
 Scale 1 : 25

**LEGEND**

	Stone Paving P3.1a (refer paving schedule, L01)	
	Stone Paving P3.1b (refer paving schedule, L01)	
	Charcoal Coloured Bruff Concrete P5.4 (refer paving schedule, L01)	
	Expansion Joint (as specified)	
	Trench Grate (as specified)	
	Masonry Retaining Wall with 100mm galvanized steel CA fixed to top. (structural eng. detail)	
	Proposed Landscape Level	
	Paving Flush Across Joint	
	Allon Paving	
	'Tremco Coolglass' 42W H, 130mm dia. Inground light with stainless steel trim and wallwash lens. Supplied by Spectra Lighting, contact: Jared Arden ph. 03 9335 2188.	

**FOR CONSTRUCTION**

NR: DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS/SPECIFICATIONS: Structural Works depts. Job No. 33495-4/5W SK1, SK2 & SK3 and associated computations.

- SCHEDULES NOTES:**
1. THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. ACTUAL SITE CONDITIONS MAY VARY.
  2. THE EXACT POSITIONS OF SERVICES SHOULD BE ESTABLISHED ON SITE PRIOR TO ANY WORKS COMMENCING.
  3. NO CURBWALES CAN BE GIVEN UNLESS ALL EXISTING SERVICES ARE SHOWN ON THIS PLAN. CONTRACTOR SHOULD REFER TO ENGINEERING DRAWINGS AND/OR CONTACT RELEVANT AUTHORITIES FOR MORE DETAILED INFORMATION REGARDING EXACT SERVICE LOCATION AND BOUNDARY OF SITES.
  4. ALL SETOUTS SHALL BE CHECKED AND APPROVED ON SITE BY THE SUPERINTENDENT PRIOR TO CONSTRUCTION.
  5. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE SUPERINTENDENT, WHO SHALL ISSUE HIGH PRIORITY INSTRUCTIONS.
  6. ALL FOOTPATHS NOT TO EXCEED 1:40 CROSS-FALL.
  7. PLAN MUST BE READ IN CONJUNCTION WITH RELATED DETAILS, PLANTING, AND SPECIFICATION DOCUMENTATION.

01 1 of Construction  
 14/03/07  
 0418J L02

MDJ Landscape Art & Build  
 Level 2, 40 Wilford Avenue  
 Alton Park, Victoria 3046 Australia  
 T: (03) 9536 4267  
 F: (03) 9536 5094  
 E: mdj@mdj.com.au

**WALKER CORPORATION**  
**KEW COTTAGES**

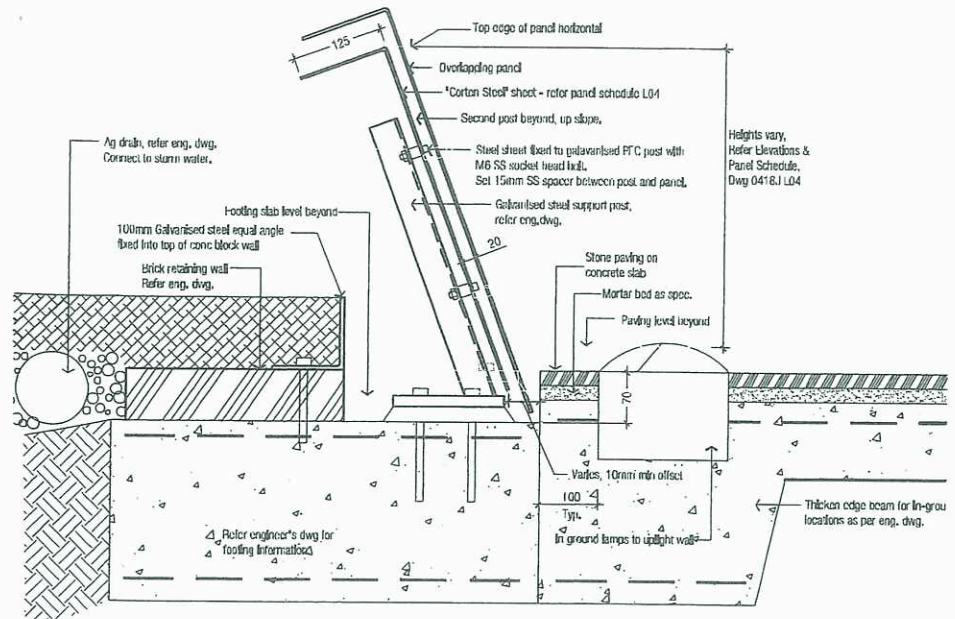
Stage 1 Entry Park  
 Steel Cladding and Layout Plan

01 October 2006  
 AS SHOWN

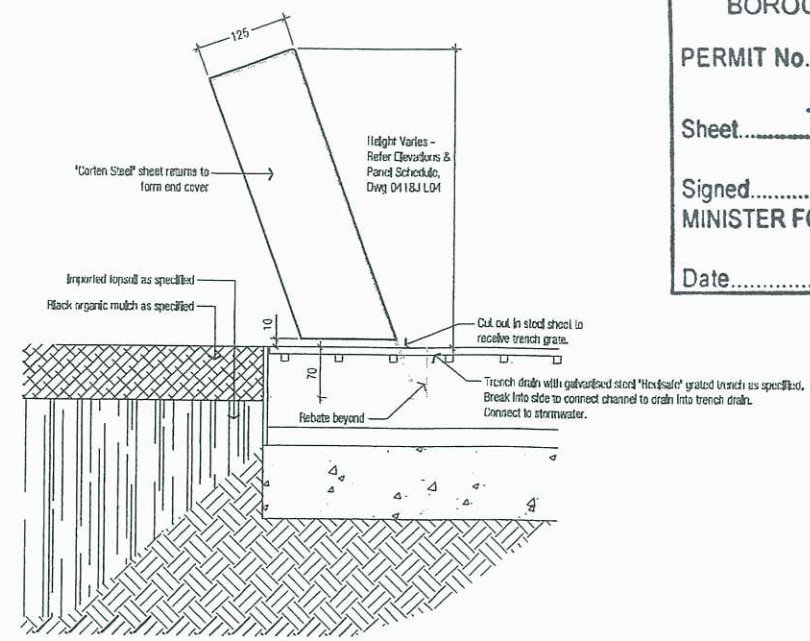
0418J L02 01



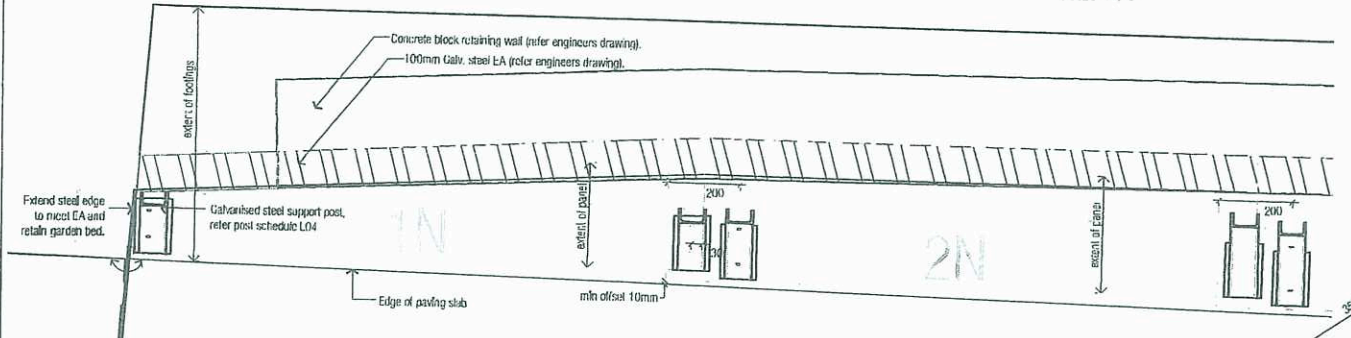
PLANNING and ENVIRONMENT ACT 1987  
 BOROONDARA PLANNING SCHEME  
 PERMIT No. 20060395-Cond.3  
 ENDORSED PLAN  
 Sheet 3 of 4  
 Signed \_\_\_\_\_ for  
 MINISTER FOR PLANNING  
 Date 9/1/08



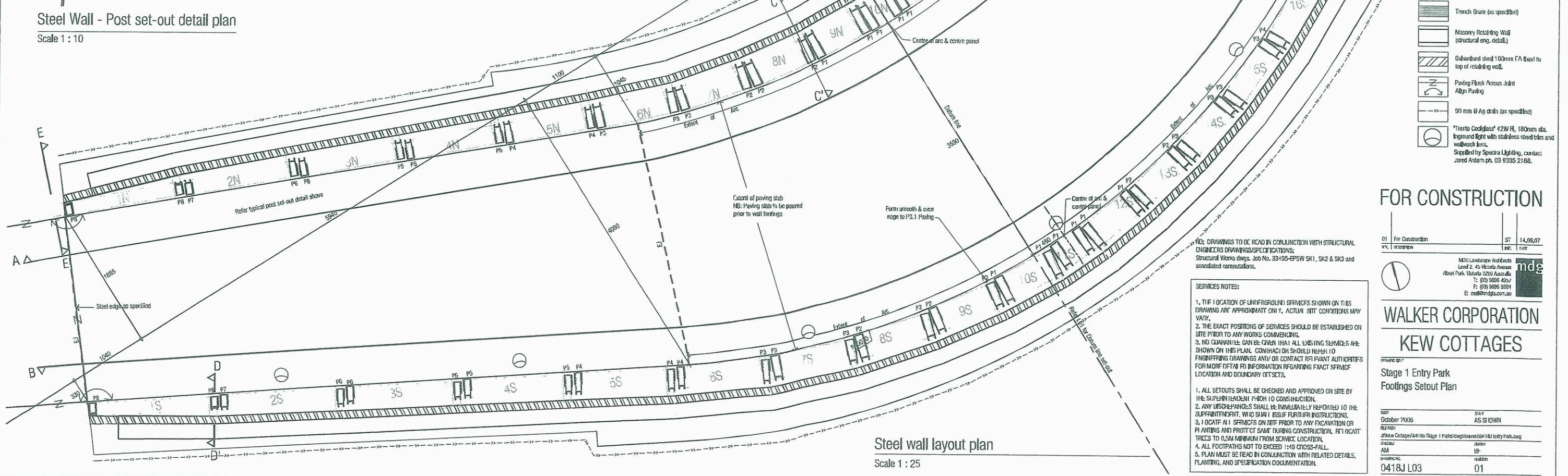
Steel wall section D-D'  
 Scale 1 : 5



Steel wall section E-E'  
 Scale 1 : 5



Steel Wall - Post set-out detail plan  
 Scale 1 : 10



Steel wall layout plan  
 Scale 1 : 25

LEGEND

- Expansion Joint (as specified)
- Trench Grate (as specified)
- Masonry Retaining Wall (structural eng. detail)
- Galvanized steel 100mm EA fixed to top of retaining wall.
- Paving Slab Across Joint
- 100mm EA Ag drain (as specified)
- \*Trench Grates\* 12W H, 180mm dia. In-ground light with stainless steel trim and wall-walk bars. Supplied by Spectra Lighting, contact: Jared Arden ph. 03 9335 2188.

ALL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DRAWINGS/SPECIFICATIONS: Structural Works dwgs. Job No. 33/05-EP5W SK1, SK2 & SK3 and associated consultations.

- SERVICES NOTES:
1. THE LOCATION OF UNDEGROUND SERVICES SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY, ACTUAL SITE CONDITIONS MAY VARY.
  2. THE EXACT POSITIONS OF SERVICES SHOULD BE ESTABLISHED ON SITE PRIOR TO ANY WORKS COMMENCING.
  3. NO GUARANTEE CAN BE GIVEN THAT ALL EXISTING SERVICES ARE SHOWN ON THIS PLAN. CONTRACTOR SHOULD REFER TO ENGINEERING DRAWINGS AND/OR CONTACT RELEVANT AUTHORITIES FOR MORE DETAILED INFORMATION REGARDING EXACT SERVICE LOCATION AND BOUNDARY OFFSETS.
  4. ALL SETOUTS SHALL BE CHECKED AND APPROVED ON SITE BY THE SUPERVISOR PRIOR TO CONSTRUCTION.
  5. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE SUPERVISOR PRIOR TO ANY FURTHER INSTRUCTIONS.
  6. LOCATION OF ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION OR PLANTING AND PRIOR TO STARTING CONSTRUCTION. FIT OUT CACT TREES TO 0.5M MINIMUM FROM SERVICE LOCATION.
  7. ALL FOOTPATHS NOT TO EXCEED 1:40 CROSS-FALL.
  8. PLAN MUST BE READ IN CONJUNCTION WITH RELATED DETAILS, PLANTING, AND SPECIFICATION DOCUMENTATION.

FOR CONSTRUCTION

01 For Construction  
 ST 14/09/07

M&G Landscape Architects  
 Level 2, 40 Victoria Avenue  
 Albert Park, Victoria 3207 Australia  
 T: (03) 9455 4297  
 F: (03) 9455 5924  
 E: mail@mdga.com.au

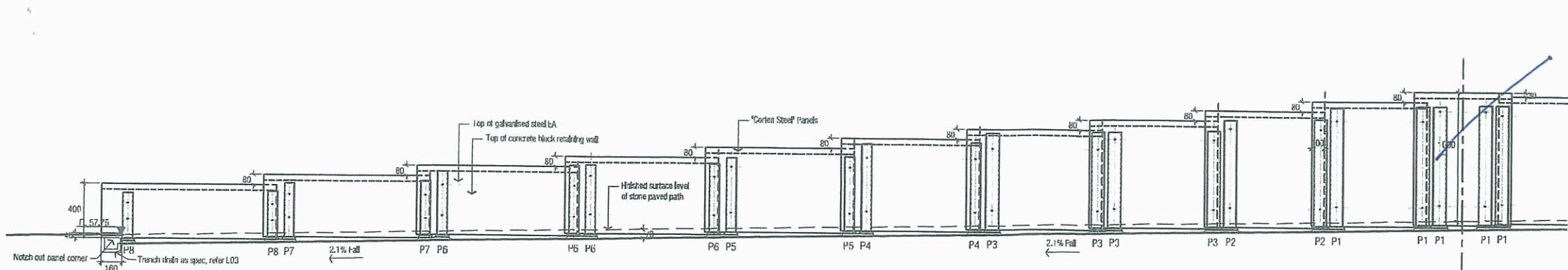
mdg

WALKER CORPORATION  
 KEW COTTAGES

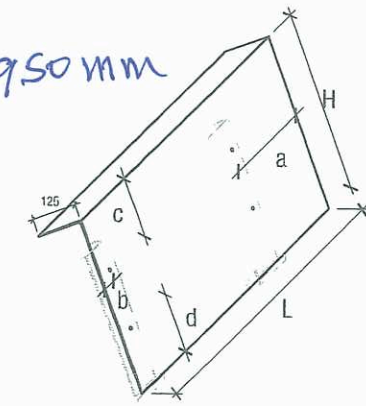
Stage 1 Entry Park  
 Footings Setout Plan

DATE: October 2005  
 DRAWN BY: AS S/IDW/N  
 CHECKED BY: JWA  
 DESIGNED BY: JWA  
 PROJECT NO: JWA-0418-Stage 1 Park/consultation/181 Entry Park.dwg  
 0418J L03 01



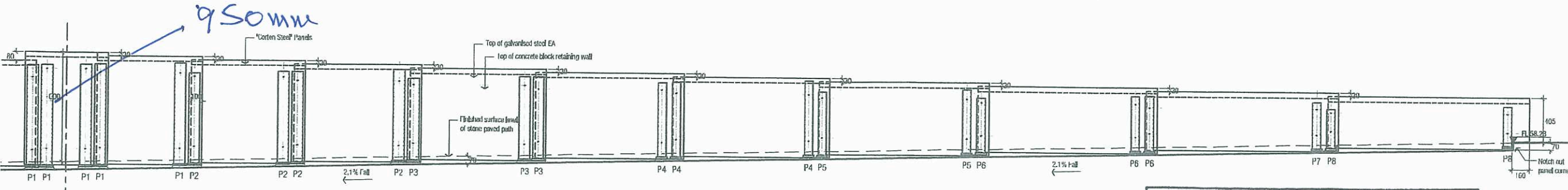


South Elevation  
(NB: True elevation B-B')

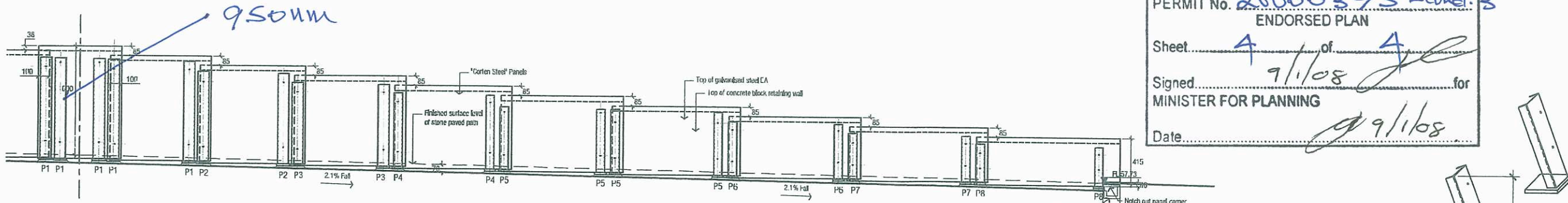


Panel diagram  
N.T.S.

Panel Schedule		Fixing Setout				
Code	Height to top	Length	a	b	c	d
1N	502	1718	30	200	150	150
2N	578	1618	30	200	150	150
3N	651	1518	30	200	150	150
4N	722	1418	30	200	150	150
5N	792	1318	30	200	150	150
6N	859	1218	30	200	150	150
7N	922	1118	30	200	150	150
8N	984	1018	30	200	150	150
9N	1044	918	30	200	150	150
10N	1098	818	30	200	150	150
11N	1154	718	30	200	150	150
12N	1212	618	30	200	150	150
13N	1272	518	30	200	150	150
14N	1334	418	30	200	150	150
15N	1398	318	30	200	150	150
16N	1464	218	30	200	150	150
17N	1532	118	30	200	150	150
18N	1602	18	30	200	150	150
19N	1674		30	200	150	150



South East Elevation  
(NB: True elevation B-B')



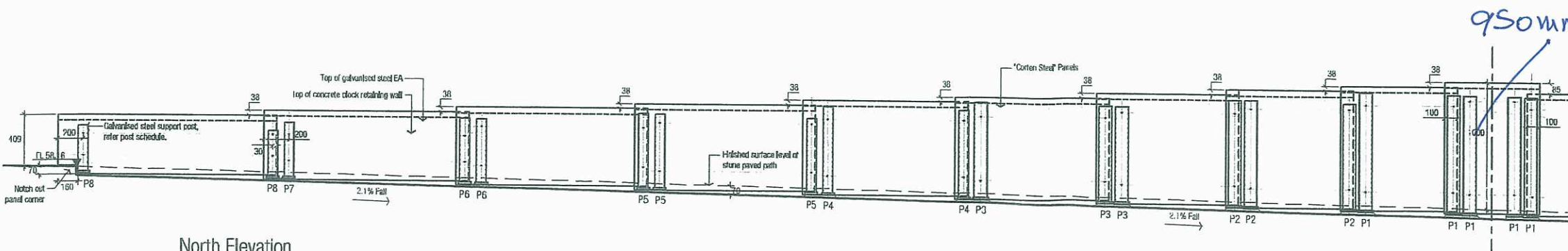
North West Elevation  
(NB: True elevation A-A')

PLANNING and ENVIRONMENT ACT 1987  
BOROONDARA PLANNING SCHEME  
PERMIT No. 20060395-Cond.3  
ENDORSED PLAN  
Sheet 4 of 4  
Signed [Signature] for  
MINISTER FOR PLANNING  
Date 9/1/08

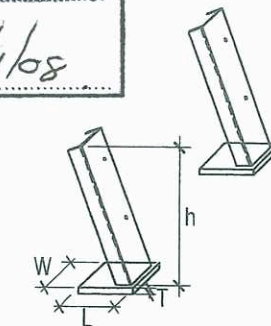
Grind all exposed edges and corners until smooth and free of burrs and sharp points.  
Panels to be 3mm thick 'corten steel' submit sample for approval by landscape architect.

Code	Vertical height (h)	Base plate size (LxWxT)
P1	920	200 x 120 x 16
P2	830	200 x 120 x 16
P3	750	200 x 120 x 16
P4	680	150 x 100 x 16
P5	590	150 x 100 x 16
P6	500	150 x 100 x 16
P7	420	150 x 100 x 16
P8	360	150 x 100 x 16

N.B. Refer structural engineers drawings for construction information.



North Elevation  
(NB: True elevation A-A')



Post diagram  
N.T.S.

M: DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DRAWINGS/SPECIFICATIONS.  
Structural Works dwgs. Job No. 33195-EP5W SK1, SK2 & SK3 and associated computations.

- SERVICES NOTES:
1. THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. ACTUAL SITE CONDITIONS MAY VARY.
  2. THE EXACT POSITIONS OF SERVICES SHOULD BE ESTABLISHED ON SITE PRIOR TO ANY WORKS COMMENCING.
  3. NO GUARANTEE CAN BE GIVEN THAT ALL EXISTING SERVICES ARE SHOWN ON THIS PLAN. CONTRACTORS SHOULD REFER TO ENGINEERING DRAWINGS AND/OR CONTACT RELEVANT AUTHORITIES FOR MORE DETAILED INFORMATION REGARDING EXACT SERVICE LOCATION AND BOUNDARY OFFSETS.

1. ALL SETOUTS SHALL BE CHECKED AND APPROVED ON SITE BY THE SURVEYOR PRIOR TO CONSTRUCTION.
2. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE SURVEYOR PRIOR TO CONSTRUCTION.
- 3.1 LOCATE ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION OR PILING AND PROTECT THEM DURING CONSTRUCTION. FIT LOCATE TREES TO 0.5M MINIMUM FROM SERVICE LOCATION.
4. ALL FOOTPATHS NOT TO EXCEED 1:10 CROSS-FALL.
5. PLAN MUST BE READ IN CONJUNCTION WITH RELATED DETAILS, PLANTING, AND SPECIFICATION DOCUMENTATION.

FOR CONSTRUCTION

01 For Construction  
14.09.07

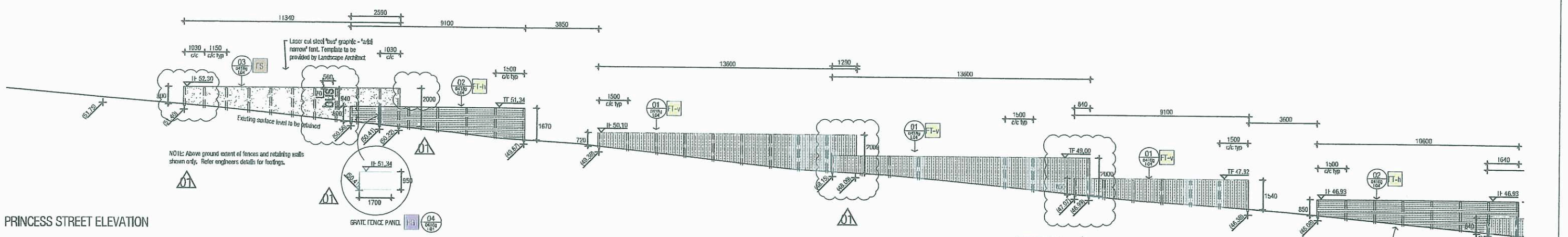
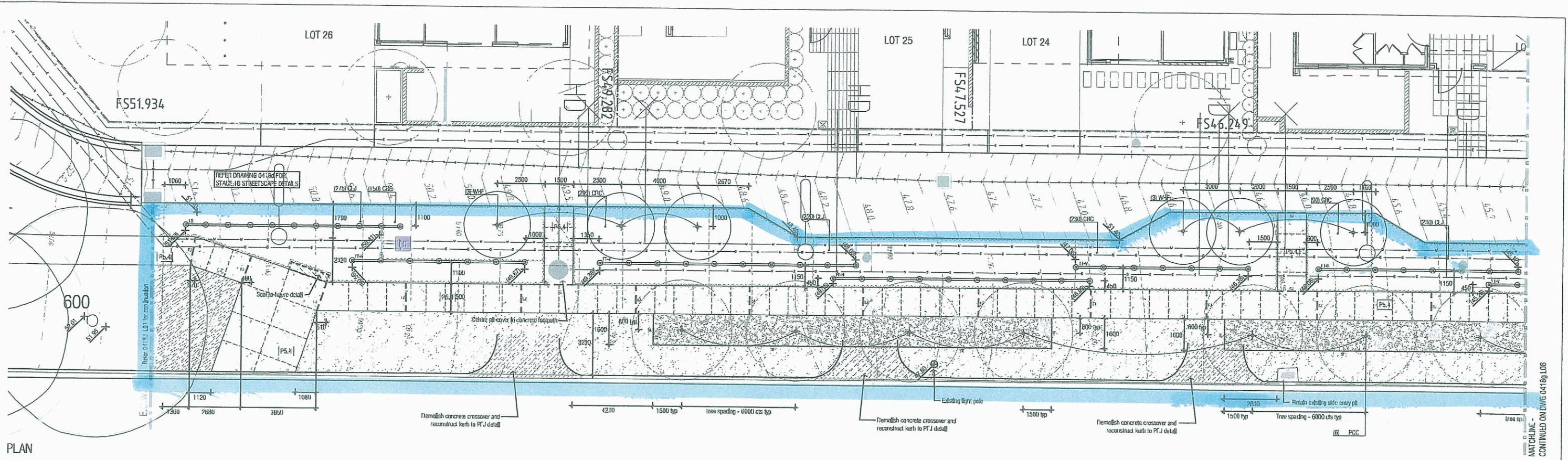
MIG Landscape Architects  
Level 2, 45 Victoria Avenue  
Albert Park, Victoria 3206 Australia  
T: 03 9599 4267  
F: 03 9599 9594  
E: mail@midga.com.au

WALKER CORPORATION  
KEW COTTAGES

Stage 1 Entry Park  
Steel Wall Elevations & Schedules

DATE	22/10/06	2/1/07
BY	AM	AM
FOR	AM	AM
0418J L04		01

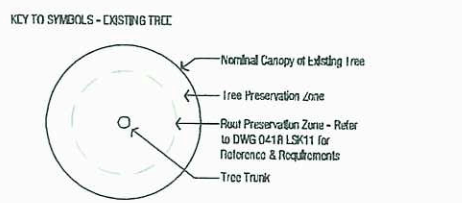




**PRINCESS STREET ELEVATION**

**TREE PROTECTION NOTES:**

1. ALL FSS OR OTHERS SPECIFICALLY NOTED ON DRAWINGS.
2. ALL TREES TO BE REMOVED ARE TO BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
3. INFORMATION CONTAINED ON THIS PLAN IS TO BE READ IN CONJUNCTION WITH MDG TREE PROTECTION PLAN 0418 LSK11 AND GALBRAITH & ASSOCIATES ARBORICULTURAL MANAGEMENT PLAN.
4. TEMPORARY TRIFF PROTECTION FENCING SHALL NOT BE PLACED WITHOUT APPROVAL IN WRITING BY THE LANDSCAPE ARCHITECT.
5. IF ENCROACHMENT INTO THE RPZ (ROOT PRESERVATION ZONE) AS DEFINED BY THE TREE PROTECTION PLAN IS REQUIRED, APPROVE ROB GALBRAITH 0413 732 132 OR (03) 9888 5214 IS TO INSPECT THE WORKS AND PROVIDE WRITING APPROVAL.
6. FENCING WITH WATER OF 110 PPM MUST OCCUR SOON AFTER ANY EXCAVATION HAS OCCURRED TO THE RPZ TO PREVENT CONTAMINATION WITH THE ARBORICULTURAL MANAGEMENT PLAN.
7. NOTHING WHATSOEVER SHALL BE ATTACHED TO ANY TREE INCLUDING TEMPORARY SERVICES, WIRES, NAILS, SCREWS OR ANY OTHER HANGING DEVICE.
8. NO STORAGE (TEMPORARY OR PERMANENT) OF MATERIALS, CHEMICALS, FUEL, EQUIPMENT OR TEMPORARY BUILDINGS SHALL TAKE PLACE OVER THE ROOT ZONE OF ANY TREE.
9. WHERE APPROVED, ROOTS SHOULD BE CLEARLY COVERED BY A ROOT PROTECTOR, SAW CUTTING OR WITH A SHARP AXE, BEFORE EXCAVATION, AND NOT WITH A BACKHOE, ANY MACHINERY OR BLUNT INSTRUMENT.
10. ALL TREE ROOTS EXCAVATED IN THE COURSE OF THE WORK SHALL BE CLEARLY CUT AND TREATED WITH ROOT KILLER SOLUTION.
11. THE CONTRACTOR WILL BE FULLY RESPONSIBLE FOR ANY DAMAGE TO EXISTING TREES AND WILL BE REQUIRED TO PAY THE COST OF ANY REPAIR OR REPLACEMENT DEEMED NECESSARY.



**SERVICES NOTES:**

1. THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. ACTUAL SITE CONDITIONS MAY VARY.
2. THE EXACT POSITIONS OF SERVICES SHOULD BE ESTABLISHED ON SITE PRIOR TO ANY WORKS COMMENCING.
3. NO GUARANTEE CAN BE GIVEN THAT ALL EXISTING SERVICES ARE SHOWN ON THIS PLAN. CONTRACTOR SHOULD REFER TO ENGINEERING DRAWINGS AND/OR CONTRACT RELEVANT AUTHORITIES FOR MORE DETAILED INFORMATION REGARDING EXACT SERVICE LOCATION AND BOUNDARY OFFSETS.

**GENERAL FENCING NOTES:**

1. ALL SETOUTS SHALL BE CHECKED AND APPROVED ON SITE BY THE SUPERINTENDENT PRIOR TO CONSTRUCTION.
2. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE SUPERINTENDENT, WHO SHALL ISSUE WRITING INSTRUCTIONS.
3. LOCATE ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION OR PAINTING AND PROTECT SAME DURING CONSTRUCTION. RELOCATE TRIPS TO A MINIMUM FROM SERVICE LOCATION.
4. ALL FOOTPATHS NOT TO EXCEED 1:40 CROSS-FALL.
5. PLAN MUST BE READ IN CONJUNCTION WITH RELATED DETAILS, PLANTING, AND SPECIFICATION DOCUMENTATION.

**GENERAL FENCING NOTES:**

1. ALL STEEL COMPONENTS TO BE GALVANISED MS UNLESS NOTED OTHERWISE.
2. ALL WELDS TO BE SMOOTH CONTINUOUS, GROUND SMOOTH.

**FINISHES SCHEDULE**

Code	Description
PS1	Green concrete (wall cap)
PS2	Concrete (base)
PS3	Concrete (top)
PS4	Concrete (sill)
PS5	Concrete (base)
PS6	Concrete (top)
PS7	Concrete (sill)
PS8	Concrete (base)
PS9	Concrete (top)
PS10	Concrete (sill)
PS11	Concrete (base)
PS12	Concrete (top)
PS13	Concrete (sill)
PS14	Concrete (base)
PS15	Concrete (top)
PS16	Concrete (sill)
PS17	Concrete (base)
PS18	Concrete (top)
PS19	Concrete (sill)
PS20	Concrete (base)
PS21	Concrete (top)
PS22	Concrete (sill)
PS23	Concrete (base)
PS24	Concrete (top)
PS25	Concrete (sill)
PS26	Concrete (base)
PS27	Concrete (top)
PS28	Concrete (sill)
PS29	Concrete (base)
PS30	Concrete (top)
PS31	Concrete (sill)
PS32	Concrete (base)
PS33	Concrete (top)
PS34	Concrete (sill)
PS35	Concrete (base)
PS36	Concrete (top)
PS37	Concrete (sill)
PS38	Concrete (base)
PS39	Concrete (top)
PS40	Concrete (sill)
PS41	Concrete (base)
PS42	Concrete (top)
PS43	Concrete (sill)
PS44	Concrete (base)
PS45	Concrete (top)
PS46	Concrete (sill)
PS47	Concrete (base)
PS48	Concrete (top)
PS49	Concrete (sill)
PS50	Concrete (base)
PS51	Concrete (top)
PS52	Concrete (sill)
PS53	Concrete (base)
PS54	Concrete (top)
PS55	Concrete (sill)
PS56	Concrete (base)
PS57	Concrete (top)
PS58	Concrete (sill)
PS59	Concrete (base)
PS60	Concrete (top)
PS61	Concrete (sill)
PS62	Concrete (base)
PS63	Concrete (top)
PS64	Concrete (sill)
PS65	Concrete (base)
PS66	Concrete (top)
PS67	Concrete (sill)
PS68	Concrete (base)
PS69	Concrete (top)
PS70	Concrete (sill)
PS71	Concrete (base)
PS72	Concrete (top)
PS73	Concrete (sill)
PS74	Concrete (base)
PS75	Concrete (top)
PS76	Concrete (sill)
PS77	Concrete (base)
PS78	Concrete (top)
PS79	Concrete (sill)
PS80	Concrete (base)
PS81	Concrete (top)
PS82	Concrete (sill)
PS83	Concrete (base)
PS84	Concrete (top)
PS85	Concrete (sill)
PS86	Concrete (base)
PS87	Concrete (top)
PS88	Concrete (sill)
PS89	Concrete (base)
PS90	Concrete (top)
PS91	Concrete (sill)
PS92	Concrete (base)
PS93	Concrete (top)
PS94	Concrete (sill)
PS95	Concrete (base)
PS96	Concrete (top)
PS97	Concrete (sill)
PS98	Concrete (base)
PS99	Concrete (top)
PS100	Concrete (sill)

**LEGEND**

	Princess Street fence (as specified, plan view), with post locations indicated
	Princess Street fencing (as specified, elevation view), with post locations indicated
	Existing tree to be retained, with root protection zone (refer tree protection notes)
	Proposed tree (as specified, refer planting plan)
	Pine Needle Mulch (as specified)
	Black Organic Mulch (as specified)
	Charcoal coloured in situ concrete (refer finishes schedule)
	Compacted Granitic Sand (refer finishes schedule)
	Pre-Grass Turf (as specified)
	Garden bed with black organic mulch (as specified, refer finishes schedule)
	Expansion Joint (as specified) Service Joint (as specified)
	Parking Finish Across Joint / Align Parking
	Steel Edge (as specified)
	Tile Boundary
	Landscape Level / Existing Landscape Level
	Top of Wall Level / Bottom of Wall Level / Top of Fence Level

**PLANT SCHEDULE** (Stage 1B component - refer sheet 0418g L01 for remaining plant schedule)

Code	Botanic Name	Common Name	Pot Size (mm)	Spacing (mm)	Height (m)	Comments	Quantity
WHF	Waterhousea floribunda	Weeping Lilly Pilly	n/a	as shown	2.5 - 3.0m		6
PCC	Platanus canariensis	Canary Islands Palm	n/a	as shown	4.5m		12
CLJ	Callistemon 'Little John'	Little John Callistemon	200	400	n/a		1280
CRC	Correa reflexa 'Clearview Giant'	Common Correa	200	400	n/a		1265

PLANNING and ENVIRONMENT ACT 1987  
BOROONDARA PLANNING SCHEME  
PERMIT No. **200 60395-Cond-3**  
ENDORSED PLAN  
Sheet **1** of **16**  
Signed for  
MINISTER FOR PLANNING  
Date **9/1/08**

**FOR CONSTRUCTION**

03 FOR CONSTRUCTION	FI 04.07.09
B FENCING CODES REVIEWED	ST 15.06.07
A PRELIMINARY	ST 28.05.07
04 L05	PRE. 04/08

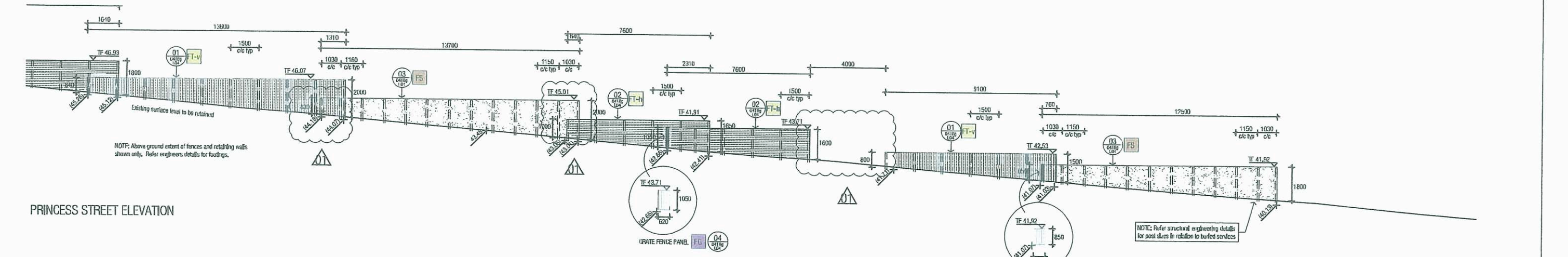
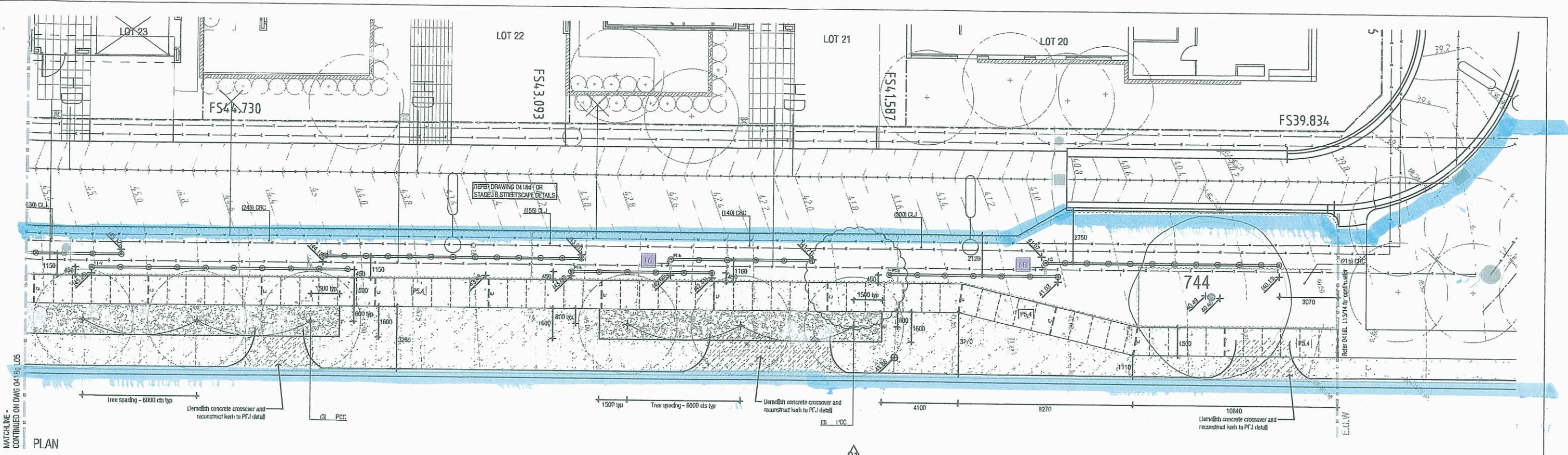
MDG Landscape Architects  
Level 2, 45 Melville Avenue  
Albert Park, Victoria 3206 Australia  
T: 03 9556 4200  
F: 03 9556 9594  
E: mdg@mdg.com.au

**WALKER CORPORATION**  
**KEW COTTAGES**

Stage 1B - Princess Street  
Landscape and Fencing Works

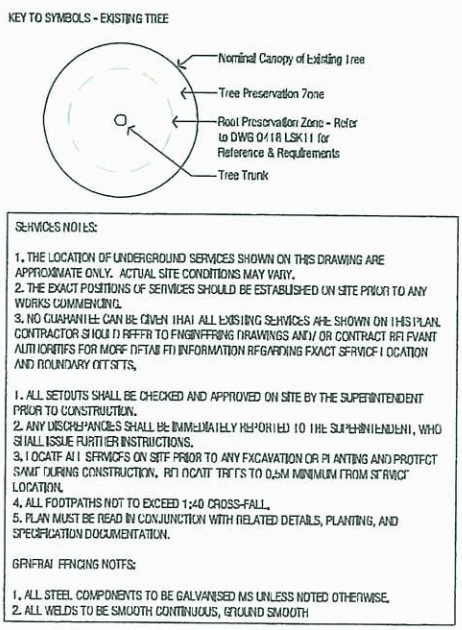
DATE: May 2007	SCALE: 1:100@A1
DESIGNER: MDG	DRAWN: MDG
CHECKED: MDG	DATE: 04/08
PROJECT: 0418g L05	01





**TRC PROTECTION NOTES:**

1. UNLESS OTHERWISE SPECIFICALLY NOTED ON DRAWINGS, ALL EXISTING TREES ARE TO BE MAINTAINED AND PROTECTED.
2. ALL TREES TO BE REMOVED ARE TO BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
3. INFORMATION CONTAINED ON THIS PLAN IS TO BE READ IN CONJUNCTION WITH MDS TRC PROTECTION PLAN 0418 LSK11 AND GARDNER & ASSOCIATES ARBORICULTURAL MANAGEMENT PLAN.
4. TEMPORARY TREE PROTECTION FENCING SHALL NOT BE RELOCATED WITHOUT APPROVAL IN WRITING BY THE LANDSCAPE ARCHITECT.
5. IF ENCROACHMENT INTO THE RPZ (ROOT PRESERVATION ZONE) AS DEFINED BY THE TRC PROTECTION PLAN IS REQUIRED, ARBORIST ROIG GALBRAITH 0413 732 132 OR (03) 9988 5214 IS TO INSPECT THE WORKS AND PROVIDE WRITTEN APPROVAL.
6. DRENCHING WITH WATER OF THE RPZ MUST OCCUR SOON AFTER ANY EXCAVATION HAS OCCURRED CLOSE TO THE RPZ IN ACCORDANCE WITH THE ARBORICULTURAL MANAGEMENT PLAN.
7. NOTHING WHATSOEVER SHALL BE ATTACHED TO ANY TREE INCLUDING TEMPORARY SERVICES, WIRES, NAILS, SCREWS OR ANY OTHER FIXING DEVICE.
8. NO STORAGE (TEMPORARY OR PERMANENT) OF MATERIALS, CHEMICALS, FILL, EQUIPMENT OR TEMPORARY BUILDING SHALL TAKE PLACE OVER THE ROOT ZONE OF ANY TREE.
9. WHEN APPROVAL, ROOTS SHOULD BE CLEANLY SHAVED BY A ROOT PRUNER, SAW CUTTING OR WITH A SHARP AXE, BEFORE EXCAVATION, AND NOT WITH A BACKHOE, ANY MACHINERY OR BLUNT INSTRUMENT.
10. ALL TREE ROOTS ENCOUNTERED IN THE COURSE OF THE WORK SHALL BE CLEANLY CUT AND TREATED WITH ROOT HORMONE SOLUTION.
11. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGE TO EXISTING TREES AND WILL BE REQUIRED TO PAY THE COST OF ANY REPAIR OR REPLACEMENT (IF ANY) IF NECESSARY.



**FINISHES SCHEDULE**

Code	Description
PS1	Open ribbed concrete (as specified)
PS2	Concrete (as specified)
PS3	Black Organic Mulch (as specified)
PS4	Compacted Granular Sand (refer finishes schedule)

**PRINCESS STREET FINISHES:**

Code	Description
T-V	VERTICAL TIMBER CLAD BOUNDARY FENCE
T-H	HORIZONTAL TIMBER CLAD BOUNDARY FENCE
FS	COR-TEN STEEL SHEET BOUNDARY FENCE
FM	ALUMINIUM GRANT FINISH
FM	MASKING FENCE, TO STRUCTURAL DETAIL

**LEGEND**

	Princess Street fence (as specified, plan view), with post locations indicated		Pre-Grown Turf (as specified)
	Princess Street fencing (as specified, elevation view), with post locations indicated		Garden Bed with Black Organic Mulch (as specified, refer finishes schedule)
	Existing tree to be retained, with root protection zone (refer tree protection notes)		Expansion Joint (as specified) Sewer Joint (as specified)
	Proposed tree (as specified, refer planting plan)		Paving Finish Across Joint / Align Paving
	Pine Needle Mulch (as specified)		Steel Edge (as specified)
	Black Organic Mulch (as specified)		Life Boundary
	Charcoal coloured finish concrete (refer finishes schedule)		Landscape Level (Existing Landscape Level)
	Compacted Granular Sand (refer finishes schedule)		Top of Wall Level
			Bottom of Wall Level
			Top of Fence Level

PLANNING and ENVIRONMENT ACT 1987  
BOROONDARA PLANNING SCHEME  
PERMIT No. 20060395-Cond.3  
ENDORSED PLAN  
Sheet 2 of 6  
Signed [Signature] for  
MINISTER FOR PLANNING  
Date 9/1/08

**FOR CONSTRUCTION**

MDG Landscape Architects  
Level 2, 40 Wicks Avenue  
Abbot Park, Victoria 3206 Australia  
T: (03) 9606 0057  
F: (03) 9606 9094  
E: mail@mdg.com.au

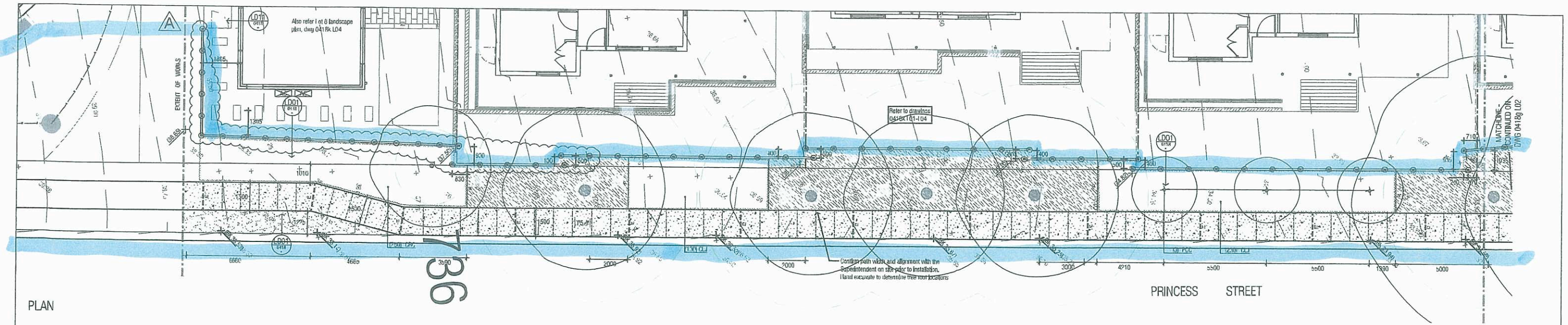
**WALKER CORPORATION**

**KEW COTTAGES**

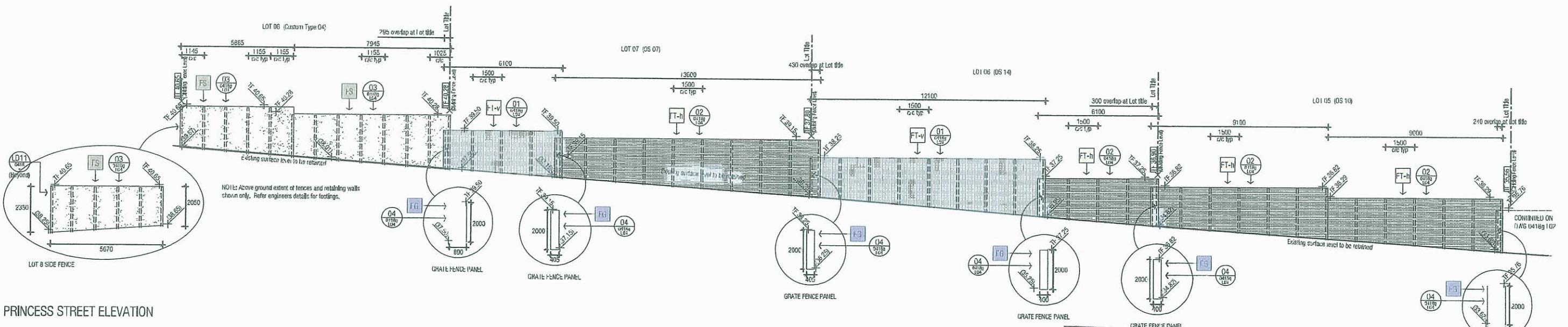
Stage 1B - Princess Street  
Landscape and Fencing Works

DATE	REV
May 2007	1:1000MM
DESIGNED	DRAWN
LD	SI
CHECKED	REVISION
0418q L06	01





PLAN



PRINCESS STREET ELEVATION

**TREE PROTECTION NOTES:**

1. UNLESS OTHERWISE SPECIFICALLY NOTED ON DRAWINGS, ALL EXISTING TREES ARE TO BE RETAINED AND PROTECTED.
2. ALL TREES TO BE REMOVED ARE TO BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
3. INFORMATION CONTAINED ON THIS PLAN IS TO BE READ IN CONJUNCTION WITH MDC TREE PROTECTION PLAN 0418 LSK11 AND GALBRAITH & ASSOCIATES ARBORETOLOGICAL MANAGEMENT PLAN.
4. TEMPORARY TREE PROTECTION FENCING SHALL NOT BE RELIANT UPON APPROVAL IN WRITING BY THE LANDSCAPE ARCHITECT.
5. IF ENCROACHMENT INTO THE RPZ (ROOT PRESERVATION ZONE) AS DEFINED BY THE TREE PROTECTION PLAN IS REQUIRED, APPROVED HOB GALBRAITH 0413 732 132 OR (03) 9888 5214 IS TO INSPECT THE WORKS AND PROVIDE WRITTEN APPROVAL.
6. DRIPPING WITH WATER OF THE RPZ MUST OCCUR SOON AFTER ANY EXCAVATION HAS OCCURRED CLOSE TO THE RPZ IN ACCORDANCE WITH THE ARBORETOLOGICAL MANAGEMENT PLAN.
7. NOTHING WHATSOEVER SHALL BE ATTACHED TO ANY TREE INCLUDING TEMPORARY SERVICES, WIRES, NAILS, SCREWS OR ANY OTHER HANGING DEVICE.
8. NO STORAGE (TEMPORARY OR PERMANENT) OF MATERIALS, EQUIPMENT OR TEMPORARY BUILDINGS SHALL TAKE PLACE OVER THE ROOT ZONE OF ANY TREE.
9. WHERE APPROVED, ROOTS SHOULD BE CLEARLY SEVERED BY A ROOT PRUNER, SAW CUTTING OR WITH A SHARP AXE, BEFORE EXCAVATION, AND NOT WITH A BACKHOE, ANY MACHINERY OR BLUNT INSTRUMENT.
10. ALL TREE ROOTS EXPOSED IN THE COURSE OF THE WORK SHALL BE CAREFULLY CUT AND TREATED WITH ROOT PROTECTANT SOLUTION.
11. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGE TO EXISTING TREES AND WILL BE REQUIRED TO PAY THE COST OF ANY REPAIR / REPLACEMENT DEEMED NECESSARY.

**KEY TO SYMBOLS - EXISTING TREE**

- Non-trunk Canopy of Existing Tree
- Tree Preservation Zone
- Root Preservation Zone - Refer to DWG 0418 LSK11 for Reference & Requirements
- Tree Trunk

**SERVICES NOTES:**

1. THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. ACTUAL SITE CONDITIONS MAY VARY.
2. THE EXACT POSITIONS OF SERVICES SHOULD BE ESTABLISHED ON SITE PRIOR TO ANY WORKS COMMENCING.
3. NO GUARANTEE CAN BE GIVEN THAT ALL EXISTING SERVICES ARE SHOWN ON THIS PLAN. CONTRACTOR SHOULD REFER TO ENGINEERING DRAWINGS AND/OR CONTRACT RELEVANT AUTHORITIES FOR MORE DETAILED INFORMATION REGARDING EXACT SERVICE LOCATION AND BOUNDARY OFFSETS.
4. ALL SERVICES SHALL BE COVERED AND APPROVED ON SITE BY THE SUPERINTENDENT PRIOR TO CONSTRUCTION.
5. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE SUPERINTENDENT, WHO SHALL ISSUE FURTHER INSTRUCTIONS.
6. LOCATE ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION OR PLANTING AND PROTECT SAME DURING CONSTRUCTION. RELOCATE TREES TO 0.5M MINIMUM FROM SERVICE LOCATION.
7. ALL FOOTINGS SHALL NOT EXCEED 1:40 CHASE-FALL.
8. PLAN MUST BE READ IN CONJUNCTION WITH RELATED DETAILS, PLANTING, AND SPECIFICATION DOCUMENTATION.

**GENERAL FENCING NOTES:**

1. ALL STEEL COMPONENTS TO BE GALVANNEZED UNLESS NOTED OTHERWISE.
2. ALL FINISHES TO BE SMOOTH, CONTINUOUS, GROUND SMOOTH.

**FINISHES SCHEDULE**

Code	Description
F1.1	Open Blastozone (to all steps)
F1.2	Blastozone
F1.3	Diamond sawn to match approved sample with pencil rounded edges
F1.4	750 x 200 x 2300mm thickness for steps
F1.5	concrete slab
F1.6	bull jointed
F1.7	blasted sand
F1.8	Victorian Blasted Sandstone, 3204 c/s 13, http://www.vicblaststone.com
F1.9	FCR
F1.10	Ready-Mix Sand and Soil / Flocia
F2.1	Gravel sand
F2.2	Toborac yellow / brown
F2.3	Compacted
F2.4	loam
F2.5	FCR
F2.6	FCR
F2.7	FCR
F2.8	FCR
F2.9	FCR
F2.10	FCR
F2.11	FCR
F2.12	FCR
F2.13	FCR
F2.14	FCR
F2.15	FCR
F2.16	FCR
F2.17	FCR
F2.18	FCR
F2.19	FCR
F2.20	FCR
F2.21	FCR
F2.22	FCR
F2.23	FCR
F2.24	FCR
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F2.26	FCR
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F2.89	FCR
F2.90	FCR
F2.91	FCR
F2.92	FCR
F2.93	FCR
F2.94	FCR
F2.95	FCR
F2.96	FCR
F2.97	FCR
F2.98	FCR
F2.99	FCR
F2.100	FCR

**PRINCESS ST FENCING CODES:**

- F1-V VERTICAL TIMBER CLAD BOUNDARY FENCE
- F1-H HORIZONTAL TIMBER CLAD BOUNDARY FENCE
- F2-V COR-TEN STEEL SHEET BOUNDARY FENCE
- F2-H ALUMINIUM GRATE FENCE
- F2-M MASONRY FENCING TO STRUCTURAL (FTAB)

**LEGEND**

- Princess Street fence (as specified, plan view), with post locations indicated
- Princess Street fencing (as specified, elevation view), with post locations indicated
- Princess Street masonry fence (as specified)
- Existing tree to be retained, with root protection zone (refer tree protection notes)
- Proposed tree (as specified, refer planting plan)
- Garden Bed with Black Organic Mulch (as specified, refer finishes schedule)
- Pine Needle Mulch (as specified)
- Pre-Green Turf (as specified)
- Charcoal coloured in situ concrete (refer finishes schedule)
- Compacted Granitic Sand (refer finishes schedule)
- CSI's (as specified)
- Sawn stone steps (as specified)
- Trench grate connected to stormwater (as specified)
- Expansion Joint (as specified) Sorel Joint (as specified)
- Steel Edge (as specified)
- Paving Flash Across Joint Align Paving
- Landscape Level including Landscape Level
- Top of Wall Level
- Bottom of Wall Level
- Top of Fence Level

PLANNING and ENVIRONMENT ACT 1987  
 BOROONDARA PLANNING SCHEME  
 PERMIT No. 20060395-Cond.3  
 ENDORSED PLAN  
 Sheet 3 of 6  
 Signed [Signature] for  
 MINISTER FOR PLANNING  
 Date 9/1/08

**FOR CONSTRUCTION**

15 PLANTING SCHEDULE REVISED ST 14.12.07  
 04 P5.4 CDR OUR AMPHIB ST 24.10.07  
 03 PLANT SCHEDULE P10/P15/FI ST 23.09.07  
 02 PRICE CODES REVISED ST 11.06.07  
 01 FOR CONSTRUCTION ST 11.06.07

16/1 description 9/8/ 2008

1400 Landscape Architects  
 Level 2, 45 Victoria Avenue  
 'bert Park, ACTON 2205 Australia  
 T: (03) 9536 4500  
 F: (03) 9536 3511  
 e: m@mdg.com.au

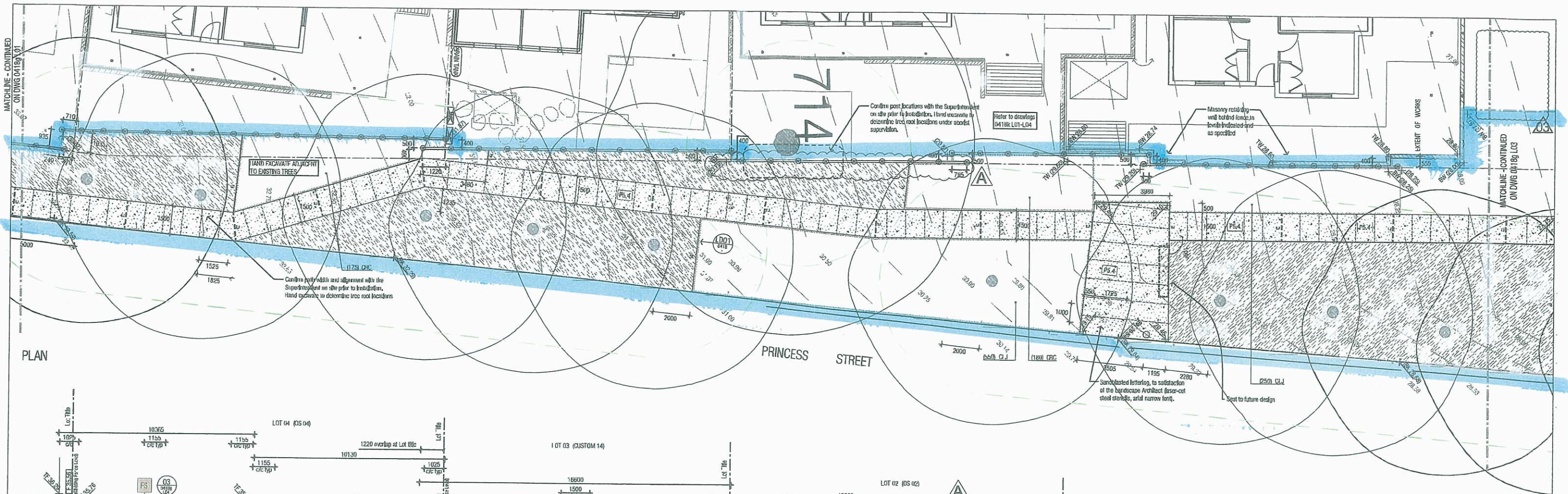
**WALKER CORPORATION**  
**KEW COTTAGES**

0418g L01 05

**PLANT SCHEDULE**

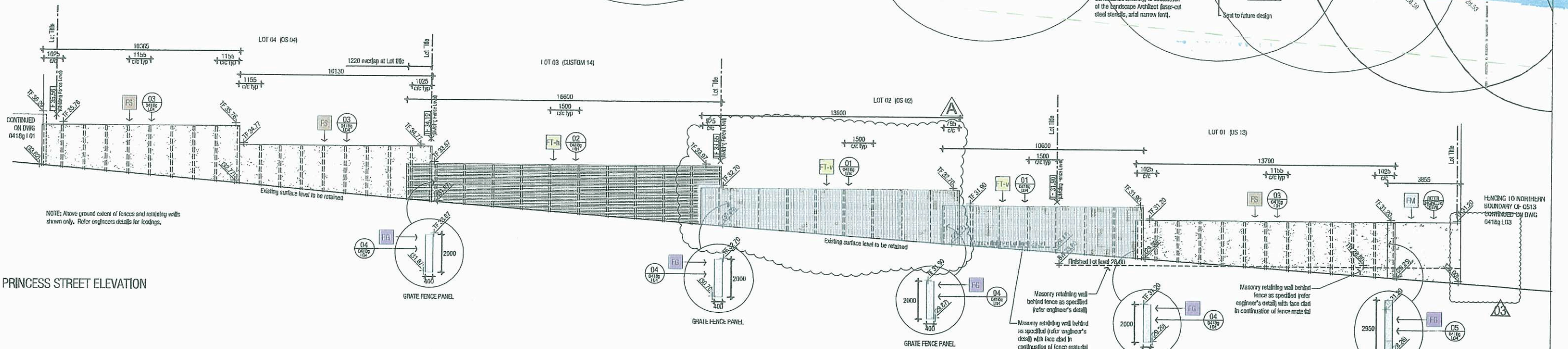
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Insa							
PCC	<i>Pouzosia canariensis</i>	Canary Islands Palm	n/a	as shown	4.5m		3
Shubs							
ASH	<i>Acemosa smithii</i> 'minor'	Lily Pili dwerf	n/a	800 c/c	min. 0.5m		31
CLJ	<i>Callistemon 'Lilla John'</i>	Lilla John Callistemon	200	400	n/a		1180
CRG	<i>Cornus reflexa</i> 'Clearview Giant'	Common cornus	200	400	n/a		723





PLAN

PRINCESS STREET ELEVATION



**TREE PROTECTION NOTES:**

- UNLESS OTHERWISE SPECIFICALLY NOTED ON DRAWINGS, ALL EXISTING TREES ARE TO BE RETAINED AND PROTECTED.
- ALL TREES TO BE REMOVED ARE TO BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
- INFORMATION CONTAINED ON THIS PLAN IS TO BE READ IN CONJUNCTION WITH MDG TRIT PROTECTION PLAN 0418g LSK11 AND GARDINATH & ASSOCIATES ARBORICULTURAL MANAGEMENT PLAN.
- TEMPORARY TREE PROTECTION (TTP) SHALL NOT BE RELOCATED WITHOUT APPROVAL IN WRITING BY THE LANDSCAPE ARCHITECT.
- IF PROCEEDING INTO THE RPT ROOT PROTECTION PLAN AS DEFINED BY THE TREE PROTECTION PLAN IS REQUIRED, ARBORIST ROB GALBRAITH 0413 732 132 OR (03) 9888 5214 IS TO INSPECT THE WORKS AND PROVIDE WRITTEN APPROVAL.
- WORKING WITHIN THE 10% MUST OCCUR SOON AFTER ANY EXCAVATION HAS OCCURRED CLOSE TO THE 10% IN ACCORDANCE WITH THE ARBORICULTURAL MANAGEMENT PLAN.
- NOTHING WHATSOEVER SHALL BE ATTACHED TO ANY TREE INCLUDING TEMPORARY SERVICES, WIRES, HARLS, SCREWS OR ANY OTHER FIXTURES.
- NO STORAGE (TEMPORARY OR PERMANENT) OF MATERIALS, CHEMICALS, FUEL, EQUIPMENT OR TEMPORARY BUILDING SHALL TAKE PLACE OVER THE ROOT ZONE OF ANY TREE.
- WHERE APPROVED, ROOTS SHOULD BE CLEANLY SEVERED BY A ROOT PRUNER, SAW CUTTING ON WITH A SHARP AXE, BEFORE EXCAVATION, AND NOT WITH A BACKHOE, ANY MACHINERY OR BLUNT INSTRUMENT.
- ALL TREE ROOTS ENCOUNTERED IN THE COURSE OF THE WORK SHALL BE CLEANLY CUT AND TREATED WITH ROOT HORMONE SOLUTION.
- THE CONTRACTOR WILL BE FULLY RESPONSIBLE FOR ANY DAMAGE TO EXISTING TREES AND WILL BE REQUIRED TO PAY THE COST OF ANY RPT OR RPT ADJUSTMENT (IF ANY) NECESSARY.

**KEY TO SYMBOLS - EXISTING TREE**

**SERVICES NOTES:**

- THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. ACTUAL SITE CONDITIONS MAY VARY.
- THE EXACT POSITIONS OF SERVICES SHOULD BE ESTABLISHED ON SITE PRIOR TO ANY WORKS COMMENCING.
- NO GUARANTEE CAN BE GIVEN THAT ALL EXISTING SERVICES ARE SHOWN ON THIS PLAN. CONSULT WITH ENGINEERING DRAWINGS AND/OR CONSULT RELEVANT AUTHORITIES FOR MORE DETAILED INFORMATION REGARDING EXACT SERVICE LOCATION AND BOUNDARY OF SERVICES.
- ALL SERVICES SHALL BE CHECKED AND APPROVED ON SITE BY THE SUPERINTENDENT PRIOR TO CONSTRUCTION.
- ANY SERVICES SHALL BE IMMEDIATELY REPORTED TO THE SUPERINTENDENT, WHO SHALL ISSUE FURTHER INSTRUCTIONS.
- LOCATE ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION OR PLANTING AND PROTECT SAME DURING CONSTRUCTION. RELOCATE TREES TO 0.5M MINIMUM FROM SERVICE LOCATION.
- ALL FOOTPATHS NOT TO EXCEED 1:40 CROSS-FALL.
- PLAN MUST BE READ IN CONJUNCTION WITH RELATED DETAILS, PLANTING, AND SPECIFICATION DOCUMENTATION.

**GENERAL FENCING NOTES:**

- ALL STEEL COMPONENTS TO BE GALVANISED MS UNLESS NOTED OTHERWISE.
- ALL WELDS TO BE SMOOTH CONTINUOUS, GROUND SMOOTH.

**PRINCESS ST FENCING CODES:**

FT-V	01	VERTICAL TIMBER CLAD BOUNDARY FENCE
FT-H	02	HORIZONTAL TIMBER CLAD BOUNDARY FENCE
FS	03	COR-180 STEEL SHEET BOUNDARY FENCE
FM	04	ALUMINIUM CHAIR FENCE
FM	05	MASONRY FENCE TO STRUCTURAL DETAIL

**LEGEND**

	Princess Street fence (as specified, plan view), with post locations indicated		TGFs (as specified)
	Princess Street fencing (as specified, elevation view), with post locations indicated		Sawn stone steps (as specified)
	Princess Street masonry fence (as specified)		Trench grate connected to stormwater (as specified)
	Existing tree to be retained, with root protection zone (refer tree protection notes)		Expansion Joint (as specified) Sawn Joint (as specified)
	Proposed tree (as specified, refer planting plan)		Steel Edge (as specified)
	Garden bed with Black Organic Mulch (as specified, refer finishes schedule)		Paving Flush Across Joint Align Paving
	Pine Needle Mulch (as specified)		Tile Boundary
	Pre-Grown Turf (as specified)		Landscape Level Existing Landscape Level
	Charcoal coloured Insitu concrete (refer finishes schedule)		Top of Wall Level
	Compact Gravel: Sand (refer finishes schedule)		Bottom of Wall Level
			Top of Fence Level

PLANNING and ENVIRONMENT ACT 1987  
BOROONDARA PLANNING SCHEME

PERMIT No. **20060395-Cond.3**

ENDORSED PLAN

Sheet **4** of **6**

Signed for  
MINISTER FOR PLANNING

Date **9/1/08**

**FOR CONSTRUCTION**

01 DRAWING LAYOUTS REVISION	11 03.03.07
02 FENCE CODES REVISED	ST 07.06.07
03 FOR CONSTRUCTION	ST 17.04.07
04 FINISHING APPROVED	JM 11.12.06
05 APPROVED	ST 11.12.06

MDG Landscape Architects  
Level 7, 45 Victoria Avenue  
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F: (03) 9636 3504  
E: mdg@mdg.com.au

**WALKER CORPORATION**

**KEW COTTAGES**

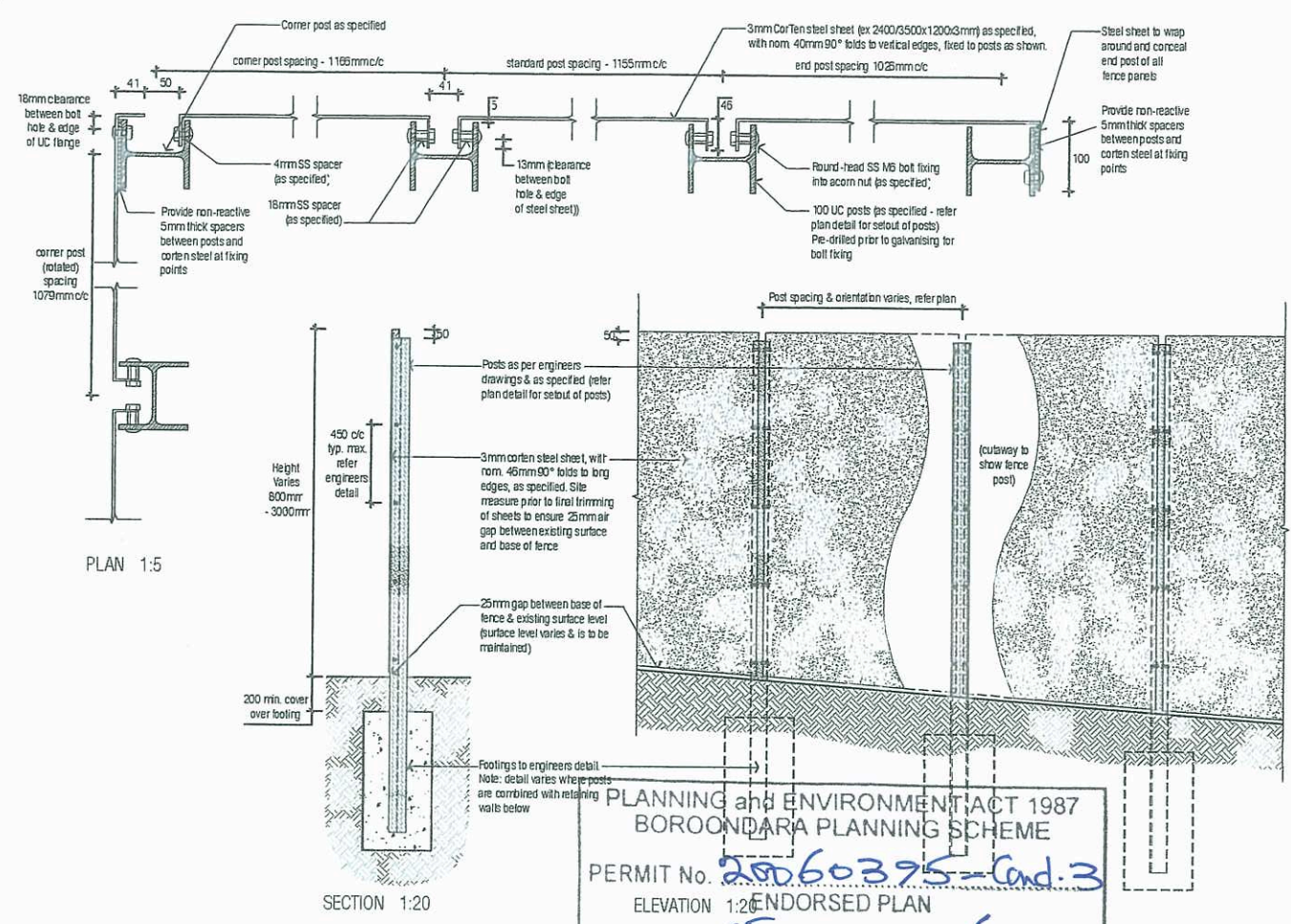
Stage 1A - Princess Street  
Landscape and Fencing Works  
Lot 04 - Lot 01

Date: October 2006 1:100  
Scale: 1:100

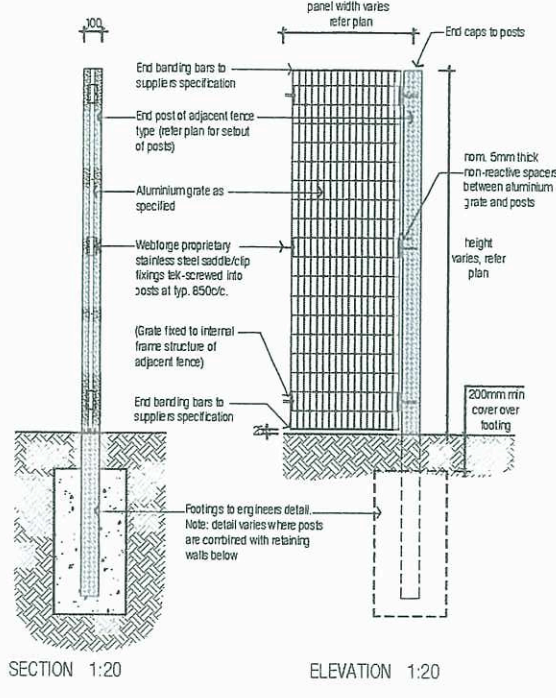
Author: MJ  
Check: MJ  
Drawn: MJ

0418g L02 03

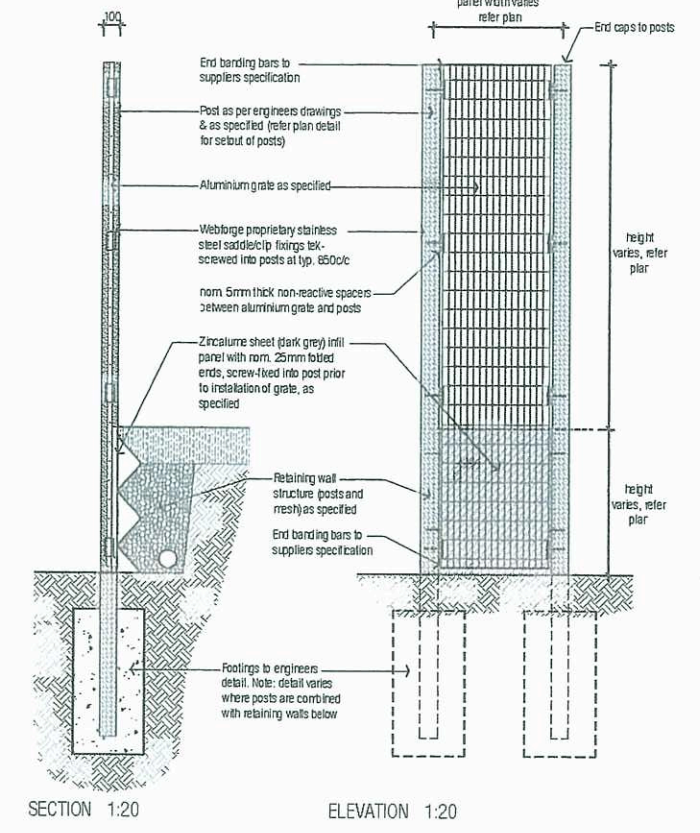




03 TYPE STEEL SHEET FENCE 1:20

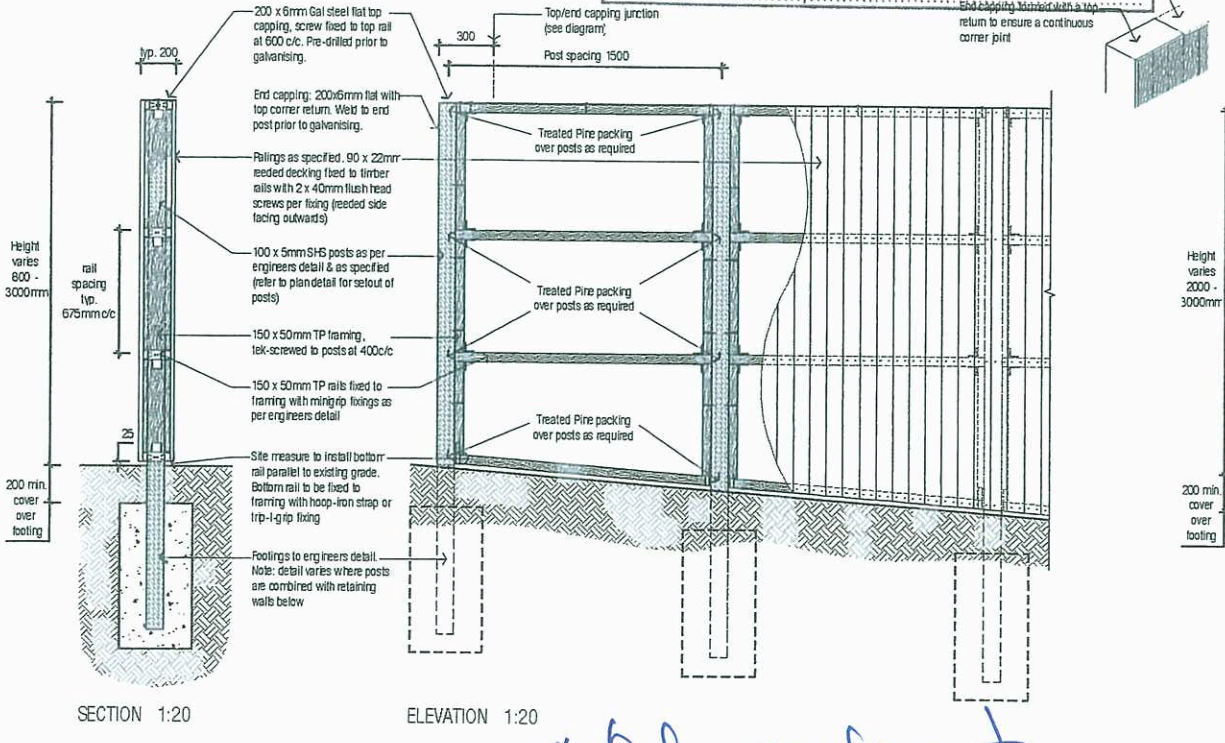


04 TYPE ALUMINIUM GRATE FENCE 1:20

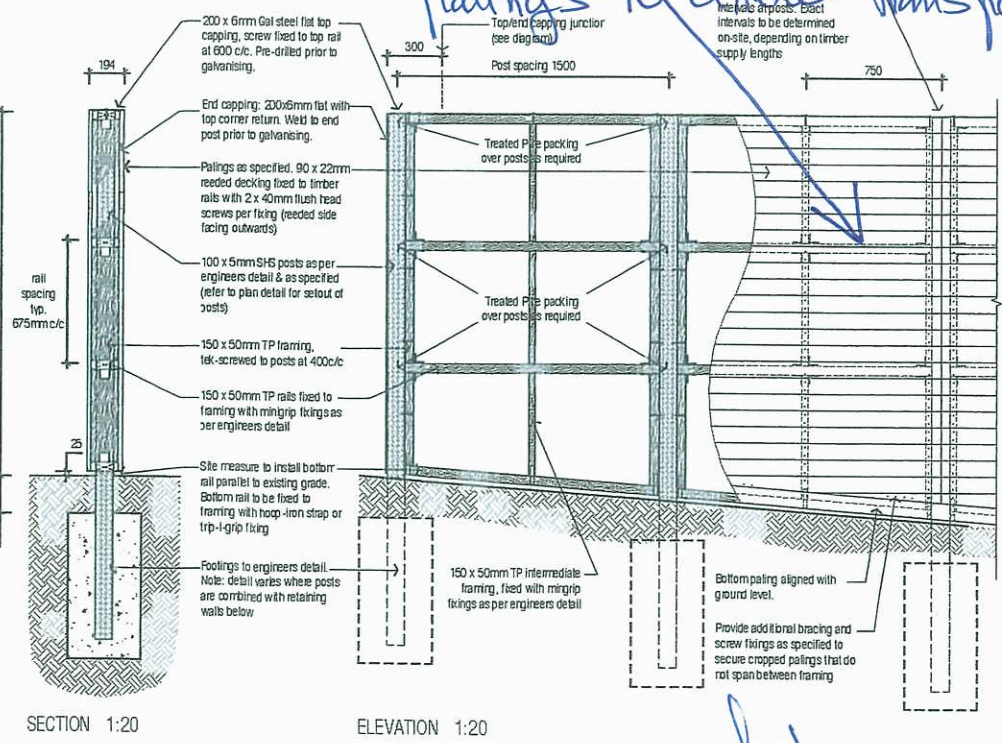


05 TYPE ALUMINIUM GRATE FENCE ON RETAINING WALL WITH PANEL INFILL 1:20

PLANNING and ENVIRONMENT ACT 1987  
 BOROONDARA PLANNING SCHEME  
 PERMIT No. 20060395-Cond.3  
 ELEVATION 1:20 ENDORSED PLAN  
 Sheet 5 of 6  
 Signed \_\_\_\_\_ for  
 MINISTER FOR PLANNING  
 Date 9/1/08  
 END CAPPING DIAGRAM (not to scale)



01 TYPE TIMBER FENCE 1:20



02 TYPE TIMBER FENCE 1:20

*\* Provide 20-25mm spacing between railings to allow horizontal transpiration*

*\* Only applies to free standing section of fence.*

*spacing between railings to align on front & rear face.*

- SERVICES NOTES:
1. THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. ACTUAL SITE CONDITIONS MAY VARY.
  2. THE EXACT POSITIONS OF SERVICES SHOULD BE DETERMINED ON SITE PRIOR TO ANY WORKS COMMENCING.
  3. PERMISSIONS CAN BE GIVEN THAT ALL EXISTING SERVICES ARE SHOWN ON THIS PLAN. CONTRACTOR SHOULD REFER TO ENGINEERING DRAWINGS AND/OR CONTRACT RELEVANT AUTHORITIES FOR MORE DETAILED INFORMATION REGARDING EXACT SERVICE LOCATION AND BOUNDARY OFFSETS.
1. ALL SETOUTS SHALL BE CHECKED AND APPROVED ON SITE BY THE SUPERINTENDENT PRIOR TO CONSTRUCTION.
2. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE SUPERINTENDENT, WHO SHALL ISSUE FURTHER INSTRUCTIONS.
3. LOCATE ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION OR PLANTING AND PROTECT SAME DURING CONSTRUCTION. RELOCATE TREES TO 0.5M MINIMUM FROM SERVICE LOCATION.
4. ALL FOOTPATHS NOT TO EXCEED 1:40 CROSS-FALL.
5. PLAN MUST BE READ IN CONJUNCTION WITH RELATED DETAILS, PLANTING, AND SPECIFICATION DOCUMENTATION.
- TREE PROTECTION NOTES:
1. UNLESS OTHERWISE SPECIFICALLY NOTED ON DRAWINGS, ALL EXISTING TREES ARE TO BE RETAINED AND PROTECTED.
  2. ALL TREES TO BE REMOVED ARE TO BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
  3. INFORMATION CONTAINED ON THIS PLAN IS TO BE READ IN CONJUNCTION WITH MDG TREE PROTECTION PLAN 0416 LSK11 AND GALBRAITH & ASSOCIATES ARBORICULTURAL MANAGEMENT PLAN.
  4. TEMPORARY TREE PROTECTION FENCING SHALL NOT BE RELOCATED WITHOUT APPROVAL IN WRITING BY THE LANDSCAPE ARCHITECT.
  5. IF ENCROACHMENT INTO THE RPZ (ROOT PRESERVATION PLAN) AS DEFINED BY THE TREE PROTECTION PLAN IS REQUIRED, ARBORIST ROB GALBRAITH 0413 732 132 OR (03) 9808 5214 IS TO INSPECT THE WORKS AND PROVIDE WRITTEN APPROVAL.
  6. DRENCHING WITH WATER OF THE RPZ MUST OCCUR SOON AFTER ANY EXCAVATION HAS OCCURRED CLOSE TO THE RPZ IN ACCORDANCE WITH THE ARBORICULTURAL MANAGEMENT PLAN.
  7. NOTHING WHATSOEVER SHALL BE ATTACHED TO ANY TREE INCLUDING TEMPORARY SERVICES, WIRES, NAILS, SCREWS OR ANY OTHER FIXING DEVICE.
  8. NO STORAGE (TEMPORARY OR PERMANENT) OF MATERIALS, CHEMICALS, FILL, EQUIPMENT OR TEMPORARY BUILDING SHALL TAKE PLACE OVER THE ROOT ZONE OF ANY TREE.
  9. WHERE APPROVED, ROOTS SHOULD BE CLEANLY SEVERED BY A ROOT PRUNER, SAW CUTTING OR WITH A SHARP AXE, BEFORE EXCAVATION, AND NOT WITH A B.C.H.W.C. ANY MACHINERY OR BLUNT INSTRUMENT.
  10. ALL TREE ROOTS ENCOUNTERED IN THE COURSE OF THE WORK SHALL BE CLEANLY CUT AND TREATED WITH ROOT HORMONE SOLUTION.
  11. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGE TO EXISTING TREES AND WILL BE REQUIRED TO PAY THE COST OF ANY REPAIR OR REPLACEMENT DEEMED NECESSARY.

PRINCIPAL ST FENCING CODES:

FTV	01	VERTICAL TIMBER CLAD BOUNDARY FENCE
FTH	02	HORIZONTAL TIMBER CLAD BOUNDARY FENCE
FS	03	COR-TEN STEEL SHEET BOUNDARY FENCE
FG	04	ALUMINIUM GRATE FENCE
FMA	05	MASONRY FENCE, TO STRUCTURAL DETAIL

GENERAL FENCING NOTES:

1. ALL STEEL COMPONENTS TO BE GALVANISED MS UNLESS NOTED OTHERWISE.
2. ALL WELDS TO BE SMOOTH CONTINUOUS, GROUND SMOOTH.
3. CONTRACTOR TO PROVIDE A FABRICATION DRAWING FOR APPROVAL PRIOR TO CONSTRUCTION.

FOR CONSTRUCTION

02	FENCING CODES REVIEWED	ST	01.06.07
01	For Construction	ST	16.05.07
A	Fencing Amended	JM	11.12.06
-	For Approval	MJ	03.10.06
REV	DESCRIPTION	DATE	

MDG Landscape Architects  
 Level 2, 45 Victoria Avenue  
 Albert Park, Victoria 3200 Australia  
 T: (03) 9558 4257 F: (03) 9558 3564  
 mail@mdg.com.au

WALKER CORPORATION  
 KEW COTTAGES

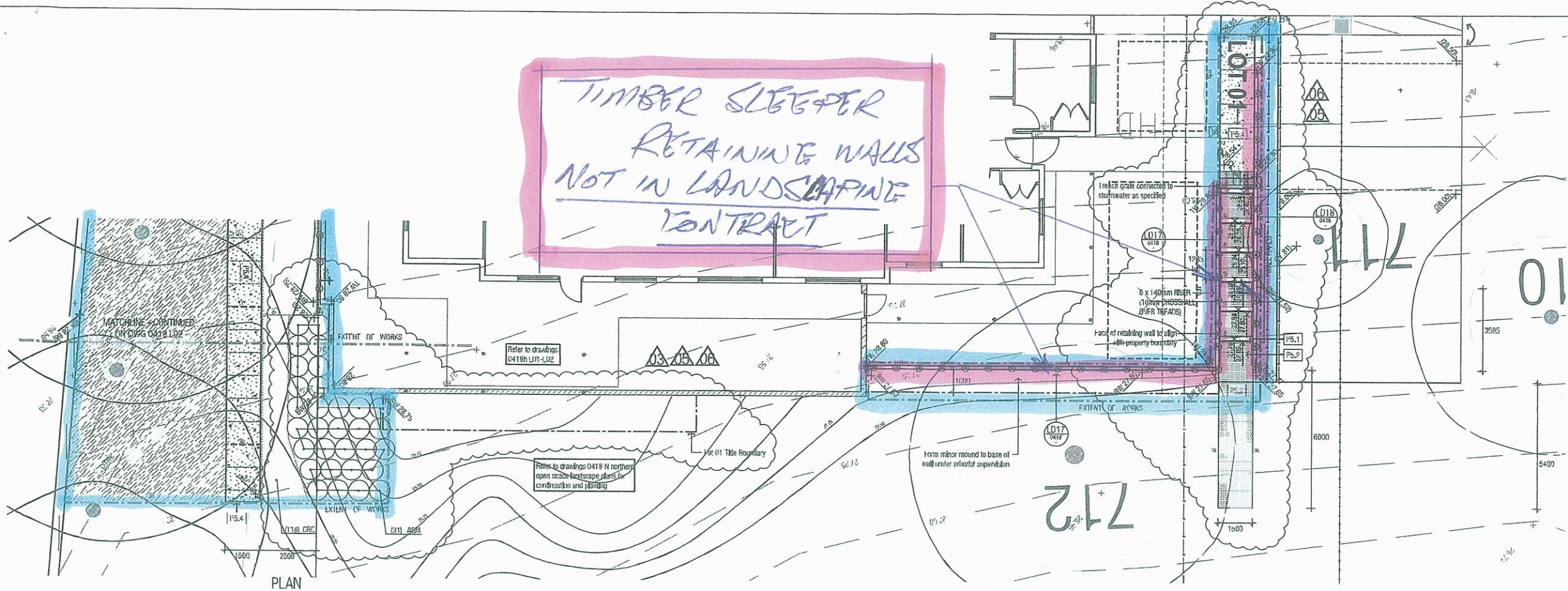
Stage 1A - Princess Street  
 Landscape and Fencing Works  
 Fencing Details

DATE: 2006  
 1: 100

0418g L04 02

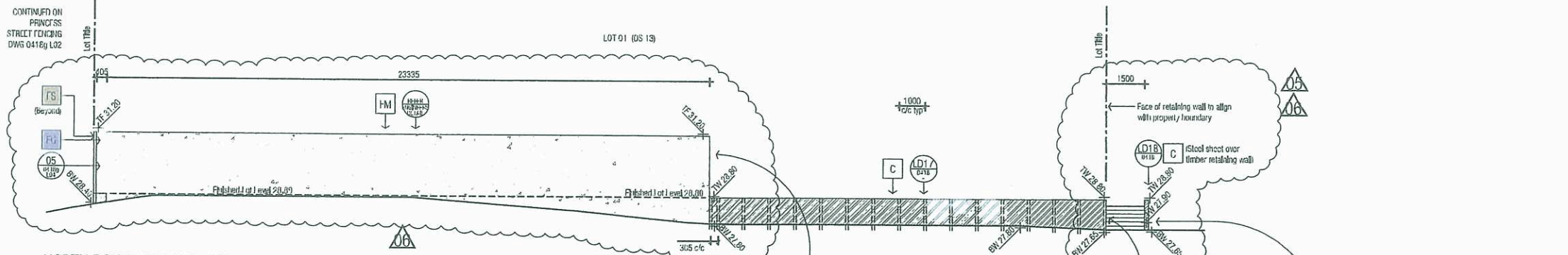


TIMBER SLEEPER  
RETAINING WALLS  
NOT IN LANDSCAPING  
CONTRACT



- LEGEND**
- Princess Street fence (as specified, plan view), with post locations indicated
  - Princess Street fencing (as specified, elevation view), with post locations indicated
  - Princess Street masonry fence (as specified)
  - Existing tree to be retained, with root protection zone (refer tree protection notes)
  - Proposal tree (as specified, refer planting plan)
  - Garden bed with black Organic Mulch (as specified, refer finishes schedule)
  - Pine Needle Mulch (as specified)
  - Pre-Grown Turf (as specified)
  - Charcoal coloured in situ concrete (refer finishes schedule)
  - Compacted Granite Sand (refer finishes schedule)
  - TGP's (as specified)
  - Saum stone steps (as specified)
  - French grate connected to stormwater (as specified)
  - Expansion Joint (as specified) Sawcut Joint (as specified)
  - Steel Edge (as specified)
  - Paving Flush Across Joint Align Paving
  - Tile Boundary
  - Landscape Level
  - Existing Landscape Level
  - Top of Wall Level
  - Bottom of Wall Level
  - Top of Fence Level

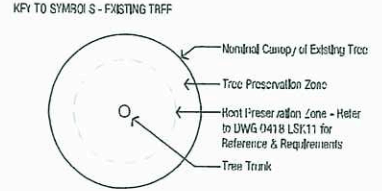
PLAN



NORTH BOUNDARY ELEVATION

**TREE PROTECTION NOTES:**

- UNLESS OTHERWISE SPECIFICALLY NOTED ON DRAWINGS, ALL EXISTING TREES ARE TO BE RETAINED AND PROTECTED.
- ALL TREES TO BE REMOVED ARE TO BE APPROVED BY WRITING BY THE LANDSCAPE ARCHITECT.
- INFORMATION CONTAINED ON THIS PLAN IS TO BE READ IN CONJUNCTION WITH MDC TREE PROTECTION PLAN 0418 LSK11 AND GARDENHUB & ASSOCIATES ARBORICULTURAL MANAGEMENT PLAN.
- TEMPORARY TREE PROTECTION FENCING SHALL NOT BE RELOCATED WITHOUT APPROVAL BY WRITING BY THE LANDSCAPE ARCHITECT.
- IF ENCROACHMENT INTO THE RPZ (ROOT PRESERVATION ZONE) AS DEFINED BY THE TREE PROTECTION PLAN IS REQUIRED, APPROVED BY GARDENHUB 0413 732 132 OR 03 9888 5214 IS TO INSPECT THE WORKS AND PROVIDE WRITING APPROVAL.
- DRAINING WITHIN WATER OF THE RPZ MUST OCCUR SOON AFTER ANY EXCAVATION HAS OCCURRED CLOSE TO THE RPZ IN ACCORDANCE WITH THE ARBORICULTURAL MANAGEMENT PLAN.
- NOTHING WHATSOEVER SHALL BE ATTACHED TO ANY TREE INCLUDING TEMPORARY SERVICES, WIRES, NAILS, SCREWS OR ANY OTHER FIXING DEVICE.
- NO STORAGE (TEMPORARY OR PERMANENT) OF MATERIALS, CHEMICALS, OIL, EQUIPMENT OR TEMPORARY BUILDING SHALL TAKE PLACE OVER THE ROOT ZONE OF ANY TREE.
- WHERE APPROVED, ROOTS SHOULD BE CLEARLY SEVERED BY A ROOT PRUNER, SAW CUTTING OR WITH A SHARP AXE, BEFORE EXCAVATION, AND NOT WITH A BACKHOLE, ANY MACHINERY OR BLIND INSTRUMENT.
- ALL TREE ROOTS ENCLOSED BY THE COURSE OF THE WORK SHALL BE CAREFULLY CUT AND TRIMMED WITH ROOT REMOVAL SOLUTION.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGE TO EXISTING TREES AND WILL BE REQUIRED TO PAY THE COST OF ANY REPAIR OR REPLACEMENT DEEMED NECESSARY.



**SERVICES NOTES:**

- THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. ACTUAL SITE CONDITIONS MAY VARY.
- THE EXACT POSITIONS OF SERVICES SHOULD BE ESTABLISHED ON SITE PRIOR TO ANY WORKS COMMENCING.
- NO GUARANTEE CAN BE GIVEN THAT ALL EXISTING SERVICES ARE SHOWN ON THIS PLAN. CONTRACTOR SHOULD REFER TO ENGINEERING DRAWINGS AND/OR CONTRACT RELEVANT AUTHORITIES FOR MORE DETAILED INFORMATION REGARDING EXACT SERVICE LOCATION AND BOUNDARY OFFSETS.
- ALL FOOTPATHS SHALL BE CONSTRUCTED AND APPROVED ON SITE BY THE SUPERINTENDENT PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE SUPERINTENDENT, WHO SHALL ISSUE FURTHER INSTRUCTIONS.
- LOCATE ALL SERVICES ON SITE PRIOR TO ANY EXCAVATION OR PLANTING AND PROTECT SAME DURING CONSTRUCTION. RELOCATE TREES TO 0.5M MINIMUM FROM SERVICE LOCATION.
- ALL FOOTPATHS SHALL BE CONSTRUCTED 1:40 CROSS-FALL.
- IF AN MUST BE READ IN CONJUNCTION WITH RELEVANT DETAILS, FINISHING, AND SPECIFICATION DOCUMENTATION.

**GENERAL FENCING NOTES:**

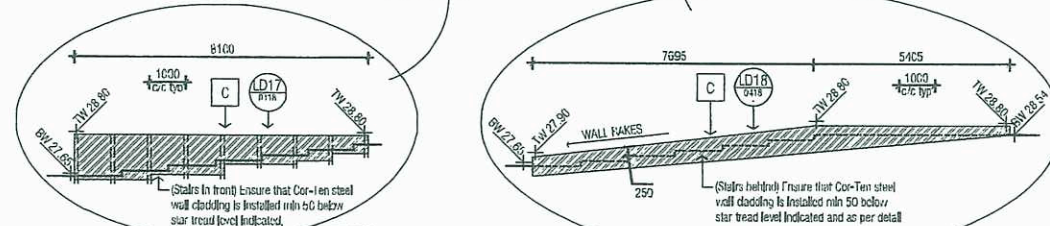
- ALL STIFF COMPONENTS TO BE GALVANIZED MS UNFINISHED DUTY IRON.
- ALL WALLS TO BE SMOOTH, CONTINUOUS, GROUND SMOOTH.

**PAVING SCHEDULE**

code	description
P9.1	Silver Bluestone (6 all steps)
colour	Bluestone
finish	diamond sawn to match approved sample with beveled edges
size / depth	300 x 200 x 200mm thickness to steps
substrate	concrete slab
padding	butl padded
padding	stacked board
padding	McLagan Bluestone Quasties 300 x 400 x 13. http://www.victalstone.com
code	P9.2
description	coloured in situ concrete
colour	Substrate yellow / brown
finish	Compacted
size / depth	100mm
substrate	FCR
padding	Compacted Sand and Soil Fills
code	P9.4
description	coloured in situ concrete
colour	Charcoal Ashes Black CF - X2 0.3% by weight
finish	steel trowel smooth finish to match approved sample
size / depth	100mm thickness
substrate	FCR
padding	referred as shown on drawings

**PRINCESS ST FENCING CODES:**

	VERTICAL TIMBER CLAD BOUNDARY FENCE
	HORIZONTAL TIMBER CLAD BOUNDARY FENCE
	COR-TEN STEEL SHEET BOUNDARY FENCE
	ALUMINIUM GRATE FENCE
	MASONRY FENCE, TO STRUCTURAL DETAIL



LOT 1 SIDE FENCE

LOT 1 RETAINING WALL TO STAIRS

PLANNING and ENVIRONMENT ACT 1987  
BOROONDARA PLANNING SCHEME  
PERMIT No. 20060395-Cond.3  
ENDORSED PLAN  
Sheet 6 of 26  
Signed [Signature] for  
MINISTER FOR PLANNING  
Date 9/1/08

**FOR CONSTRUCTION**

REV	DESCRIPTION	DATE
06	PLANTING REVISED STAIR APPROVAL	14.12.07
05	1:11 F FOUNDATION/INDUSTRIAL	13.11.07
04	PSA COI DUB APPROVED	04.10.07
03	DRAINING FIXTURES FINISHED	03.08.07
02	FENCE CODES RE ISSUE	01.06.07
01	FOR CONSTRUCTION	17.05.07

MDC Landscape Architects  
Level 2, 45 Victoria Avenue  
North Park, ACTON 2068 Australia  
T: 03 9636 4867  
F: 03 9636 3591  
E: mdc@mdc.com.au

**WALKER CORPORATION**  
**KEW COTTAGES**

Stage 1A - Princess Street  
Landscape and Fencing Works  
Lot 1 Northern Boundary  
DATE: 14.12.07  
DRAWN: MJJ  
CHECKED: MJJ  
DATE: 14.12.07  
0418 L03 06