



**Walker Corporation**

## **Addendum to the Walker Development Plan- Kew (Dec. 05)**

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Walker Corporation Pty Limited

NOVEMBER 2007

<b>PLANNING and ENVIRONMENT ACT 1987</b>	
<b>BOROONDARA PLANNING SCHEME</b>	
CLAUSE No	43.04 - Sch. 3
<b>MODIFIED ENDORSED PLAN</b>	
Sheet	1 of Pages 1-6
Signed	<i>[Signature]</i> for
MINISTER FOR PLANNING	
Date	6/2/08

## **Foreword**

This addendum (Volume 2) provides updated text and illustrations to parts of the endorsed Walker Development Plan – Kew (WDP-K (Dec 05) which have been varied principally as a result of the relocation of the recreation centre to within the heritage core. The report structure is consistent with the original endorsed WDP-K (Dec. 05). However only sections which require amendment have been included within this addendum.

## **Background**

The WDP-K (Dec. 05) was endorsed by the Minister for Planning on 9 March 2006.

The Minister for Planning (the Responsible Authority) and Walker Corporation Pty Limited (the Developer) have agreed to vary the WDP-K (Dec 05) as set out in this addendum.

The variation to the WDP-K described in this addendum will become effective and operational from the date the addendum is endorsed by the Responsible Authority.

## **Agreed Terms- Variation to the Development Plan**

The Responsible Authority and the Developer agree the following.

- The WDP-K (Dec 05) is varied only as set out in this addendum to include the variation of the location of the recreation centre, the addition of heritage walk links throughout the site (at the request of Heritage Victoria) and an update to the indicative staging plan.
- The endorsed WDP-K (Dec 05) includes a series of other plans throughout the document (using the WDP-K (Dec. 05) map base) that have not been varied. Compared with the WDP-K (Dec. 05) map, these plans are considered to be more illustrative rather than informative. On this basis, the addendum does not include amendments to

all plans. The varied WDP-K map supersedes these plans in the endorsed WDP-K (Dec 05).

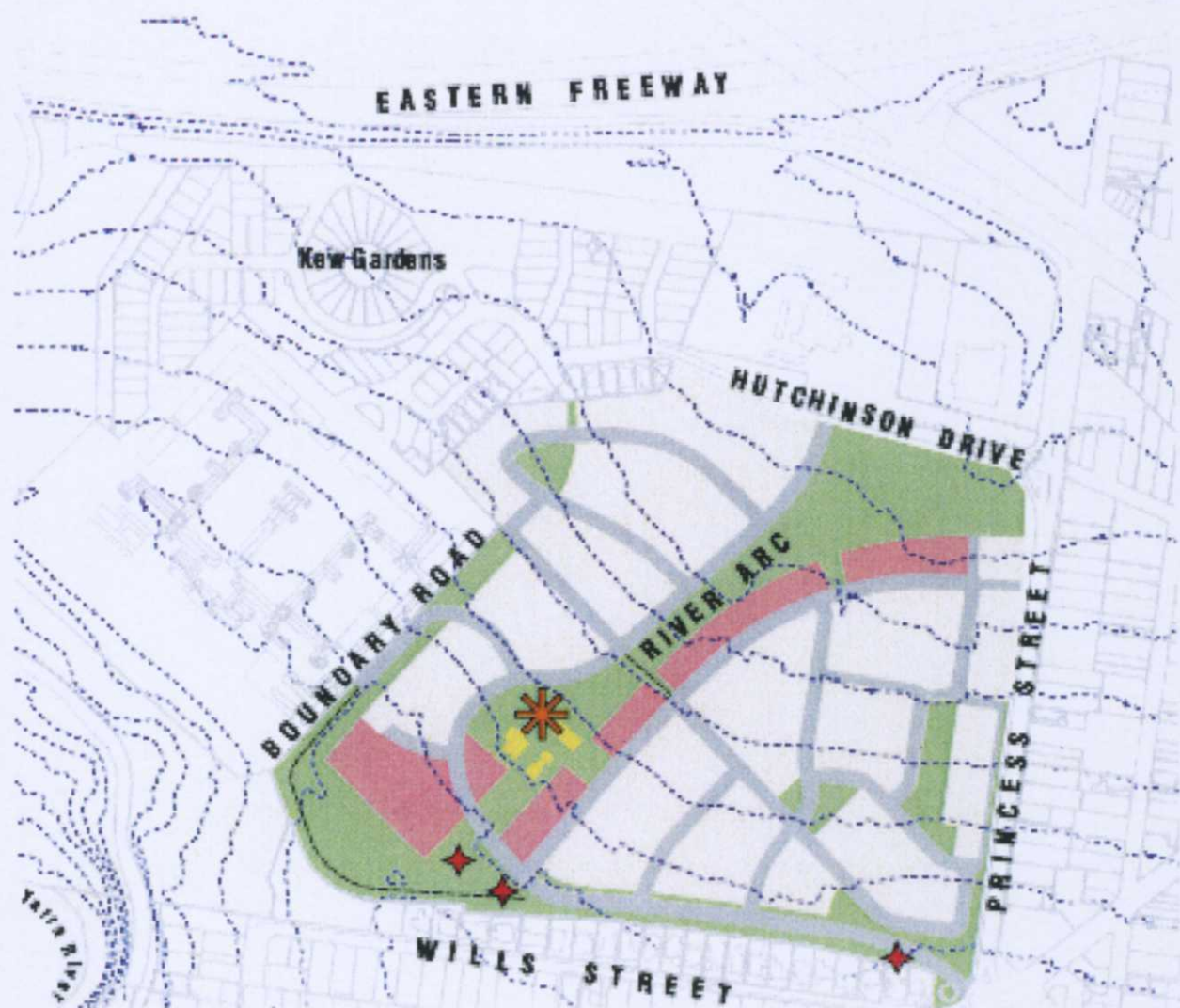
### **3 THE MAP DESCRIBED**

The WDP-K (Nov. 07) map below is characterised by:

- predominantly residential land use;
- the retention of most of the significant heritage items and vegetation features;
- a recreation centre within the curtilage of the heritage core buildings in the western portion of the subject land;
- substantial areas of public open space;
- a network of safe walking/cycling paths providing a good level of accessibility across the subject land for people of all abilities and with good access to and from the surrounding area;
- appropriate vehicle connections to the surrounding area and a hierarchy of access streets and lanes.

The above configuration of uses, networks and spaces was developed from the comprehensive studies that resulted in the provisions of the Scheme and the VHR listing.

The key elements and design response of the map are described in the following sections.



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|---|---|---|--|
|  | <b>CONVENTIONAL DENSITY RESIDENTIAL DEVELOPMENT</b><br>MIXED USE WITH APARTMENTS, COMMERCIAL USE AND OFFICE USE WITH A RANGE OF SERVICES AND FACILITIES |  | <b>PROPOSED ROAD</b><br>SUBJECT TO THE TANKS NETWORK DEVELOPMENT                       |
|  | <b>APARTMENTS</b><br>CONVENTIONAL DENSITY RESIDENTIAL DEVELOPMENT WITH FEEDBACK HOWS ALSO POSSIBLE  |  | <b>RECREATION CENTRE</b>   |
|  | <b>HERITAGE BUILDINGS</b><br>RESIDENTIAL COMMUNITY OR COMMERCIAL USE AND HERITAGE ACCESS FROM LOCAL STREET  |  | <b>TEMPORARY SALES AND INFORMATION CENTRE</b><br>A PROPOSED FEATURE OF THE DEVELOPMENT |
|  | <b>PUBLIC OPEN SPACE</b><br>AREAS AND MANICURED SUBJECT TO THE TANKS NETWORK DEVELOPMENT  |  | <b>HERITAGE WALK LINKS</b>   |



**WALKER DEVELOPMENT PLAN-KEW MAP**  
Modified 7 November 2007

## **4.3 COMMUNITY FACILITIES AND SERVICES**

### **4.3.1 Recreation Centre**

The 'Framework Plan – The Vision' within the KRSUDF shows 'potential sports and recreational facilities' near the north boundary of the subject land. As outlined above, DHS requires particular facilities to be provided.

The WDP-K (Nov. 07) map proposes a recreation centre within the heritage core in the western portion of the subject land. The recreation centre will incorporate the following.

- A lap pool.
- A gymnasium.
- A kiosk / café.
- Consultation rooms for use by visiting health professionals.
- Space for community- based activities.
- A hydrotherapy pool to accommodate a minimum of five disabled users and their carers at any one time.

The proposed location will maximise public (including pedestrian) access to the facility principally from within the development and may encourage those from the surrounding residential area.

The recreation centre will have limited visual prominence being located within the heritage core area, which will assist with public appreciation of the sites heritage buildings.

Subject to stakeholder discussions and a more detailed assessment, possible ownership and management arrangements for the recreation centre are as follows.

- Public or private ownership and / or leased or sold to a commercial operator with social objectives included in the lease or sale arrangements.
- Body corporate, including KRS residents, ownership and management.

## 5. Implementation

### 5.1 Indicative Staging.

The indicative sequence for the redevelopment of the subject land is depicted on the plan below. The indicative development staging may vary as the detailed design for each stage is completed and depending on market demand.

The indicative development staging may vary as the detailed design for each stage is completed and depending on market demand. An indication of stage timing on expected market conditions is stage 1 to commence in 2005, stages 2 and 3 to commence in 2008, stages 4 and 5 to commence in 2009 and stages 6 and 7 to commence in 2010.

### MAIN DRIVE, KEW PROJECT STAGING PLAN

NOTE: LAYOUT IS INDICATIVE ONLY

